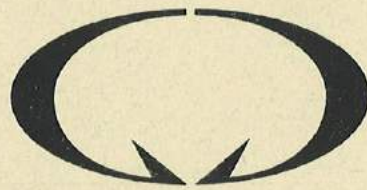


Young Electric
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THE COTTON CENTER

MASTER SIGN PLAN



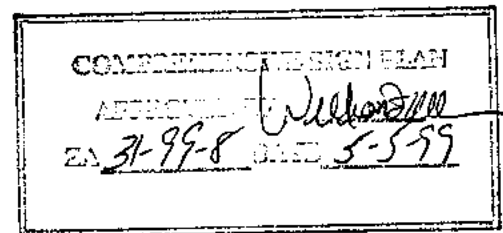
THE COTTON CENTER

MASTER SIGN PLAN

Prepared for
JDMD-Apollo
2400 East Biltmore Circle
Building 2, Suite 1270
Phoenix, Arizona 85016

By
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Rev. 06 April 1999
December 1998



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Appendix A

Legal Descriptions



PROJECT DESCRIPTION

BACKGROUND

The Cotton Center is a master planned business community consisting of 280 acres. Sites have been planned for a specialized variety of land use including business parks, light industrial facilities, hotels, restaurants, and retail stores.

The Cotton Center Master Sign Plan was developed in conjunction with The Cotton Center Master Plan and its Design Guidelines. The Master Sign Plan is intended to ensure the development of a consistently high quality environment, thus protecting and enhancing the investment of all those locating within The Cotton Center.

There are three major entrances to The Cotton Center Master Plan. These gateways will be landscaped with a 90' setback, and will have entry signage integrated into the landscape and hardscape. Similar materials and colors are used to provide consistency between landscape, hardscape, and signage.

The Cotton Center project is zoned as Commercial C-2 district and Intermediate Commercial Park district, with a Business Park option and General Commerce Park option. Gross Leasable Area may vary from parcel to parcel, depending on specific uses proposed. Maximum lot coverage: 50% for Commerce Park and 50% for Business Park (C-2 has no maximum). For Commercial C-2 and Business Park zoned parcels, the overall height will not exceed 56 feet; for General Commerce Park zoned parcels, the overall height will not exceed 80 feet.

This Master Sign Plan demonstrates the design of permanent and temporary signage that represents the identity and the image of The Cotton Center.

TRAFFIC PATTERNS

The Cotton Center Master Plan is bound by Broadway Road to the north, 48th Street to the east, Roeser Road to the south, and 40th Street to the west. Traffic circulation at The Cotton Center will consist of an arterial street system that will provide access to future development in the master plan. There will be no direct access by the public to the collector street system. Cotton Center Boulevard is the primary east/west arterial access to the project. 44th Place provides the arterial access from the north, joining with the Cotton Center Boulevard at the main roundabout. All other north/south arterials will be built in later phases.

Broadway Road is a two-way road of five lanes. The speed limit is 40 MPH.

48th Street is a two-way road of six lanes. The speed limit is 45 MPH.

Roeser Road is a two-way road of two lanes. The speed limit is 30 MPH.

40th Street is a two-way road of four lanes. The speed limit is 40 MPH.

Cotton Center Boulevard is a two-way public road of four lanes with a center median. The speed limit is 30 MPH. This arterial road is used as a primary entrance to The Cotton Center Master Plan from 40th Street and 48th Street.

44th Place is a two-way public road of four lanes. The speed limit is 30 MPH. This road is used as a secondary entrance to The Cotton Center Master Plan. There will be a traffic light at the intersection to Broadway Road.

Pedestrian entrances are located to the north, east, and west of the project, primarily at the major entries to the project. Parking will be determined on a per building basis.

LANDSCAPE MASTER PLAN

To maintain a consistently high level of quality throughout The Cotton Center, a Landscape Master Plan has been established. This plan provides for special entry features at the three major project entries and a continuous 30' landscape setback along all perimeter arterial streets and a 20' landscape setback along interior streets and drives. See the Land Use Plan (Page 1.3).

The intent of this landscaped plan is to provide a consistent framework to organize and to provide a visual coherence throughout the project. The landscape design of individual parcels is influenced by landscape design guidelines, including a plant palette.

DESIGN GUIDELINES

Codes, Covenants and Regulations for The Cotton Center provide for the creation and use of The Cotton Center Design Guidelines for the design of sites, buildings, landscaping and signage.

SIGNAGE CONCEPT

The Cotton Center Master Sign Plan concept is to design signage that will enhance the quality of the master planned business community. This will be achieved by providing guidelines for business and project signage. The Cotton Center Master Sign Plan provides for the design of project entry signage, parcel specific signage, project directional signage and temporary signage. The consistency of shape, materials, size, placement, and lighting will ensure the success of The Cotton Center.

Parcel specific signage types will vary slightly, depending on the needs of a certain parcel. User conditions, such as Single User, Multi-tenant and Complex, will determine such needs for safe and efficient navigation throughout the The Cotton Center.

In Commercial zoned properties, two types of signs can be used based on specific needs. Single user parcels may use a low profile sign (Sign Type 2A) while multiple tenants in a multiple building parcel may use a taller directory-type sign (Sign Type 2B). This allows for variety along Broadway Road and 48th Street while minimizing the quantity of signage overall.

Business/Light Industrial properties shall have three sign types to select from based on the building and tenant needs. Single user parcels will require a low profile sign (Sign Type 3A) while a multi-tenant building will use a slightly taller sign (Sign Type 3B) to allow for major tenant identification. A third type of sign (Sign Type 3C) allows for larger multiple building complex parcels to announce the entrances to its properties as well as identify major tenants.

The signage concept was influenced by several motifs in the project. The landscape design was derived from the cotton fields that previously existed on the land; rows of berms are repeated and topped with palm trees, reminiscent of crops rising up from the rows of agriculture fields. The project's logo exhibits an elliptical shape that reflects the combination of two "C" letterforms and a graphic representation of cotton. All these forms have a common shape of roundness at the top, which was then assimilated in the signage. The shape of the sign forms demonstrate massing and building form, as well as integration with the environment. The color palette chosen for the permanent and temporary signage is consistent with The Cotton Center's identity and its colors. The common shape and colors of the signage provides easier wayfinding throughout the site. The materials used for signage will be painted aluminum with routed, punch-through letters or metal cut dimensional letters, depending on sign purpose and scale. All signs shall have a stone base that matches the landscape walls' stone. The signs will be internally or indirectly illuminated.

REVIEW PROCESS

This master sign plan provides signage design for The Cotton Center entry signage, parcel specific identification signage, directionals and temporary signage. Parcel sign plans must be reviewed and approved by The Cotton Center Design Review Committee. Once approved by The Cotton Center, the parcel's sign plan is to be submitted to the City of Phoenix for administrative review. Once approved, the applicant may obtain sign construction permits.



Dashed lines show possible land use boundaries only.

The Cotton Center is zoned as Commercial C-2 district and Intermediate Commercial Park district, with a Business Park option and General Commerce Park option.

Gross Leasable Area may vary from parcel to parcel, depending on specific uses proposed. Maximum lot coverage is 50% for Commerce Park and 50% for Business Park. For Commercial C-2 and Business Park zoned parcels, the overall height will not exceed 56 feet; for General Commerce Park zoned parcels, the overall height will not exceed 80 feet.

- Site Property Area
- 20'-0" Landscape Setback
- 30'-0" Landscape Setback
- Entry Feature: landscape and signage

LAND USE PLAN





PROJECT
SIGNAGE

DESCRIPTION	SIGN TYPE	FUNCTION	MATERIALS	ILLUMINATION	LOCATIONS
PROJECT ENTRY SIGN <i>project use only</i>	I	Identifies major entrances around the perimeter of the project. These monument signs include The Cotton Center logo and logotype.	Text: Reversed pan channel metal letters, painted, pin-mounted to poured-in-place concrete wall. Logos: Reversed pan channel metal shapes, painted, mounted flush to cylindrical concrete column.	Text: Halo illumination; Logos: Halo illumination on inside counterspaces of logos.	See Sign Location Map (page 2.2)
PRIMARY IDENTIFICATION SIGN Commercial Use <i>Single User Parcel</i>	2A	Identifies entrances to single user tenant commercial parcels. May include The Cotton Center logo, tenant name and building address.	Painted aluminum cabinet; routed and punch-through letters with colored acrylic faces. Stone base to match The Cotton Center landscape entries' stone.	Internal illumination	See Sign Location Map (page 2.2)
PRIMARY IDENTIFICATION SIGN Commercial Use <i>Multi-tenant Parcel</i>	2B	Identifies entrances to multi-tenant commercial parcels. Includes The Cotton Center logo, major tenant names and building addresses.	Painted aluminum cabinet with removable tenant panels; routed and punch-through letters with colored acrylic faces. Stone base to match The Cotton Center landscape entries' stone.	Internal illumination	See Sign Location Map (page 2.2)
PRIMARY IDENTIFICATION SIGN Business/Light Industrial Use <i>Single User Parcel</i>	3A	Identifies main entrances to single user parcels. Includes The Cotton Center logo, building/parcel identification, and building address only.	Painted aluminum cabinet; routed and punch-through letters with colored acrylic faces. Stone base to match The Cotton Center landscape entries' stone, poured-in-place concrete with The Cotton Center logo to match The Cotton Center entry monument.	Internal illumination	See Sign Location Map (page 2.2)
PRIMARY IDENTIFICATION SIGN Business/Light Industrial Use <i>Multi-tenant Parcel</i>	3B	Identifies main entrances to multi-tenant parcels, listing a maximum of two major tenants. Includes The Cotton Center logo, building/parcel identification, and building address only.	Painted aluminum cabinet; routed and punch-through letters with colored acrylic faces. Stone base to match The Cotton Center landscape entries' stone, poured-in-place concrete with The Cotton Center logo to match The Cotton Center entry monument.	Internal illumination	See Sign Location Map (page 2.2)
PRIMARY IDENTIFICATION SIGN Business/Light Industrial Use <i>Multi-tenant Parcel, Complex</i>	3C	Identifies main entrances to multi-tenant parcels with a complex of buildings, listing a maximum of five major tenants. Includes The Cotton Center logo, building/parcel identification, and building address only.	Painted aluminum cabinet; routed and punch-through letters with colored acrylic faces. Stone base to match The Cotton Center landscape entries' stone, poured-in-place concrete with The Cotton Center logo to match The Cotton Center entry monument.	Indirect illumination	See Sign Location Map (page 2.2)
PROJECT DIRECTIONAL SIGN	4	Located on major streets and at intersections for ease of navigation. Includes The Cotton Center logo, building addresses, and directional arrows.	Solid metal letters, painted, pin-mounted flush to painted aluminum cabinets on a stone base.	Indirect or internal illumination or none	TBD
WALL SIGN <i>all uses</i>	5	Identifies individual tenants on buildings within each parcel in The Cotton Center.	Individual metal letters, pan-channel. No raceways or exposed neon/light source.	Internal illumination or none	TBD
MARKETING DEVELOPMENT SIGN <i>project use only</i>	T1, T2	Markets and promotes the development of The Cotton Center.	Painted wood panels, with vinyl.	None	
CONSTRUCTION SIGN <i>per parcel use</i>	T3	Announces the construction of a new building.	Painted wood panels, with vinyl.	None	
LEASING SIGN <i>per parcel use</i>	T4	Informs of the leasing information for a particular building.	Painted wood panels, with vinyl.	None	

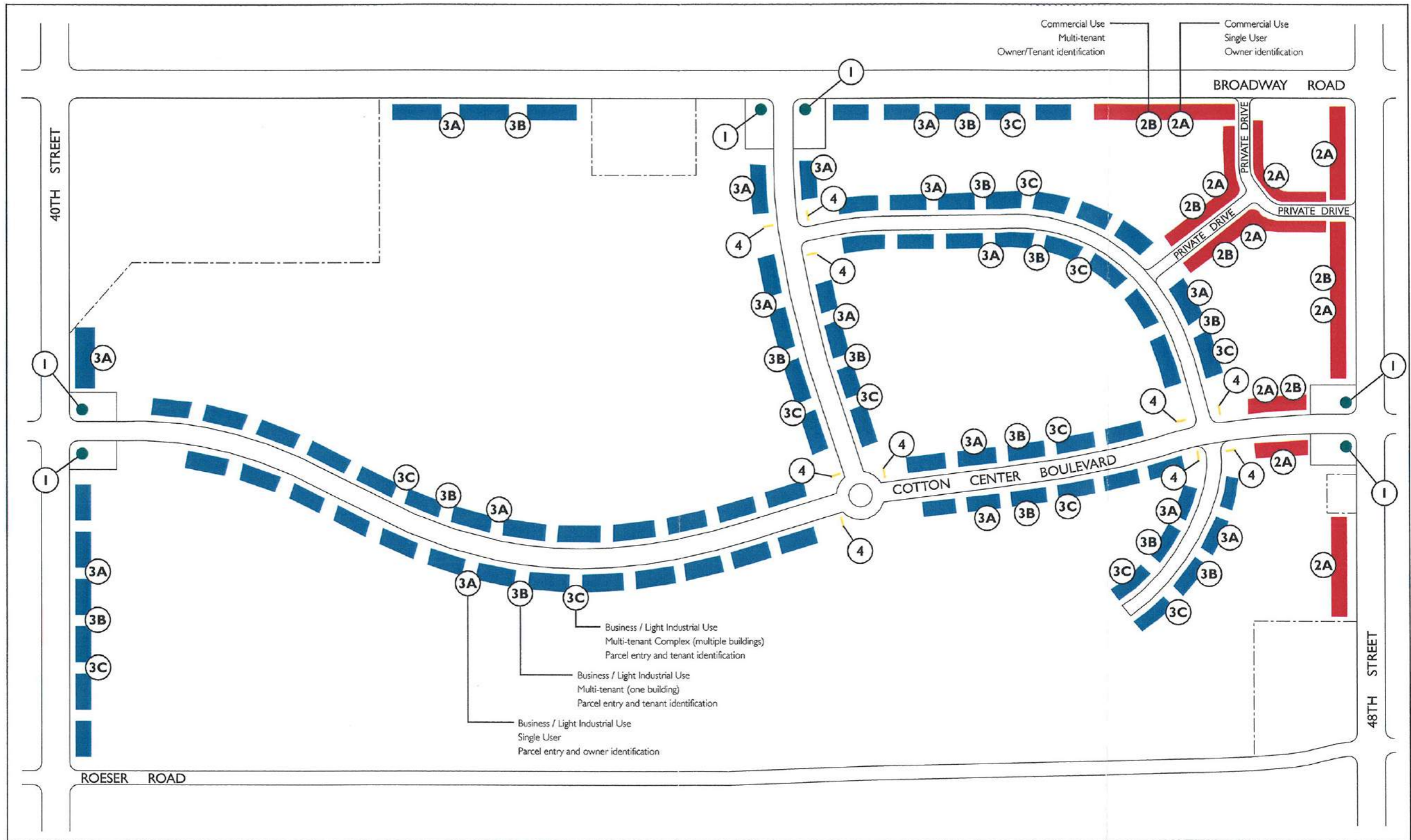
Proposed

City of Phoenix Sign Ordinance

DESCRIPTION	SIGN TYPE	MAXIMUM QUANTITY	MAXIMUM HEIGHT	MAXIMUM AREA (sq.ft.) PER SIGN	MAXIMUM QUANTITY	MAXIMUM HEIGHT	MAXIMUM AREA (sq.ft.) PER SIGN
PROJECT ENTRY SIGN project use only	I	two(2) per major entry, total of six(6)	7'-0"	90	none specified	none specified	none specified
PRIMARY IDENTIFICATION SIGN Commercial Use Single User Parcel	2A	one(1) per 300' of street frontage corner parcels: one(1) per corner or one(1) per street front	5'-0"	50	one(1) per user or one(1) per 300' of street frontage if parcel has more than 300' of frontage corner parcels: one(1) per corner or one(1) per street front	16'-0" (20'-0") corner parcels: at corner: 20'-0"; at street front: 5'-0" if parcel has less than 100' of frontage, 15'-0" if parcel has 100' to 300' of frontage	110 (150) corner parcels: 150
PRIMARY IDENTIFICATION SIGN Commercial Use Multi-tenant Parcel	2B	one(1) per street front per parcel corner parcels: one(1) per corner or one(1) per street front	15'-0"	130	one(1) per 300' of street frontage corner parcels: one(1) per corner or one(1) per street front	16'-0" (20'-0") corner parcels: at corner: 20'-0"; at street front: 5'-0" if parcel has less than 100' of frontage, 15'-0" if parcel has 100' to 300' of frontage	110 (150) corner parcels: 150
PRIMARY IDENTIFICATION SIGN Business/Light Industrial Use Single User Parcel	3A	one(1) per 300' of street frontage corner parcels: one(1) per corner or one(1) per street front	4'-6"	40	one(1) per 300' of street frontage corner parcels: one(1) per corner or one(1) per street front	16'-0" (20'-0") corner parcels: at corner: 20'-0"; at street front: 5'-0" if parcel has less than 100' of frontage, 15'-0" if parcel has 100' to 300' of frontage	110 (150) corner parcels: 150
PRIMARY IDENTIFICATION SIGN Business/Light Industrial Use Multi-tenant Parcel	3B	one(1) per 300' of street frontage corner parcels: one(1) per corner or one(1) per street front	7'-0"	70	one(1) per 300' of street frontage corner parcels: one(1) per corner or one(1) per street front	16'-0" (20'-0") corner parcels: at corner: 20'-0"; at street front: 5'-0" if parcel has less than 100' of frontage, 15'-0" if parcel has 100' to 300' of frontage	110 (150) corner parcels: 150
PRIMARY IDENTIFICATION SIGN Business/Light Industrial Use Multi-tenant Parcel, Complex	3C	one(1) set per driveway entrance per 300' of street frontage corner parcels: one(1) per corner or one(1) per street front	10'-0"	130	one(1) per 300' of street frontage corner parcels: one(1) per corner or one(1) per street front	16'-0" (20'-0") corner parcels: at corner: 20'-0"; at street front: 5'-0" if parcel has less than 100' of frontage, 15'-0" if parcel has 100' to 300' of frontage	110 (150) corner parcels: 150
PROJECT DIRECTIONAL SIGN	4	one(1) per driveway entrance	3'-0"	6	two(2) per driveway entrance	3'-0"	6
WALL SIGN all uses	5	no limit	25' or roofline minus 1/2 vertical dimension of sign, up to 56 ft.*	1.25 per lineal ft. of elevation, 625 maximum	no limit	25' or roofline minus 1/2 vertical dimension of sign, up to 56 ft.*	1 per lineal foot of elevation, 500 maximum
MARKETING DEVELOPMENT SIGN project use only	T1, T2	total of three(3)	12'-0"	80	one(1) per street front per parcel	12'-0"	100
CONSTRUCTION SIGN per parcel use	T3	one(1) per street front per parcel	10'-0"	75	one(1) per street front per parcel	12'-0"	100
LEASING SIGN per parcel use	T4	one(1) per street front per parcel	4'-0"	8	one(1) per 300' of street frontage	not specified	32 if parcel is less than 10 acres, 100 if parcel is more than 10 acres

* Signs designed higher than 56 ft. are considered a major amendment and need to be submitted for approval.





This diagrammatic map shows the potential locations for various sign types and does not show the final quantities of signs to be included in The Cotton Center. Permanent and final locations will be determined as The Cotton Center Master Plan is further developed and parcel properties are defined. These are approximate locations and does not reflect actual quantities.

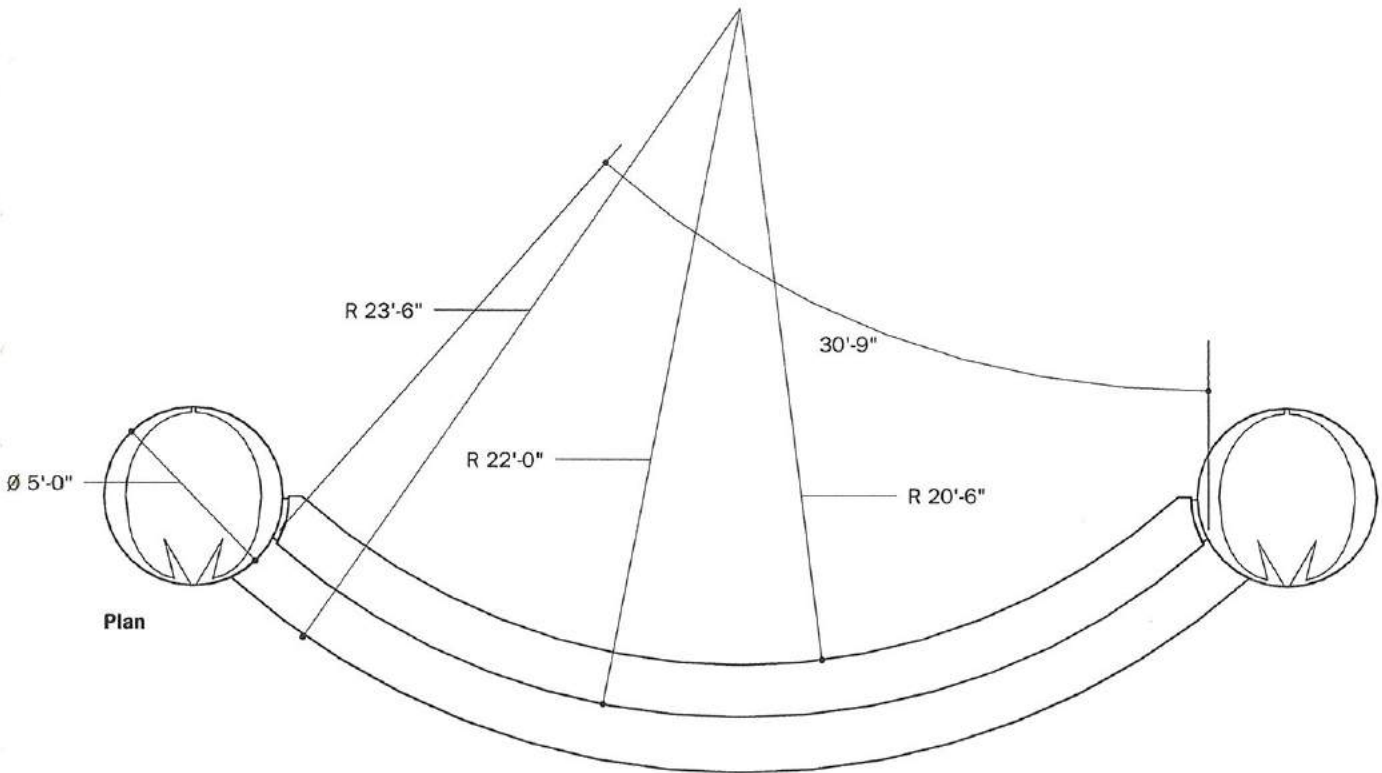
- Sign Type 1: Project Entry Signs
- Sign Types 2A and 2B: Primary Identification Signs--Commercial
- Sign Types 3A, 3B and 3C: Primary Identification Signs--Business/Light Industrial
- Sign Type 4: Project Directional Signs

SIGN LOCATION MAP

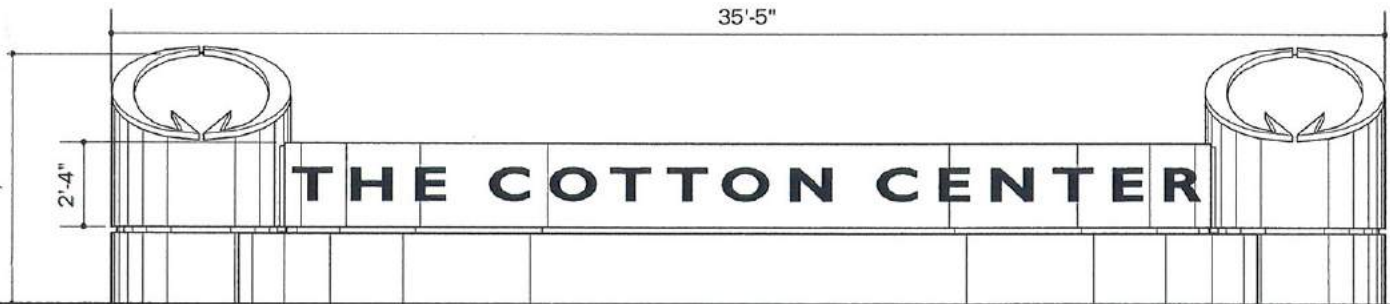




scale: 3/16" = 1'-0"



Plan



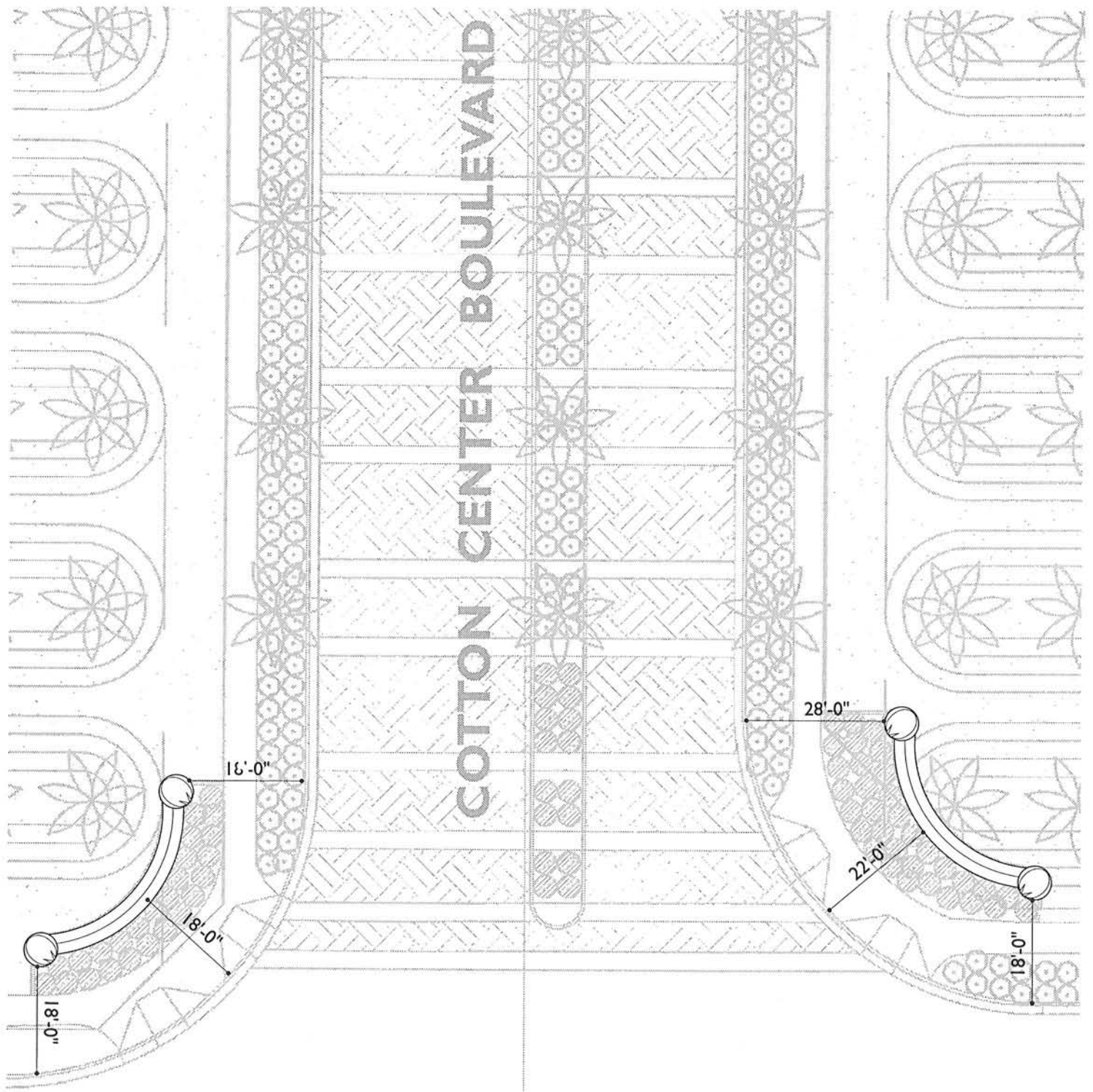
Elevation



Serving as an announcement to The Cotton Center development, the Project Entry Sign integrates the graphic identity (logo and logotype) with the shape of the sign. In plan, the curvilinear shape molds the rounding form of landscape design to create a cohesive composition of elements. The forms will be constructed of poured-inplace concrete with the exception of the stone base, which will be constructed of masonry and stone. The concrete and stone materials are repeated in the landscape perimeter walls and the sculptural feature in the center of the project.

PROJECT ENTRY SIGN

Sign Type: I
Scale: 3/16" = 1'-0"

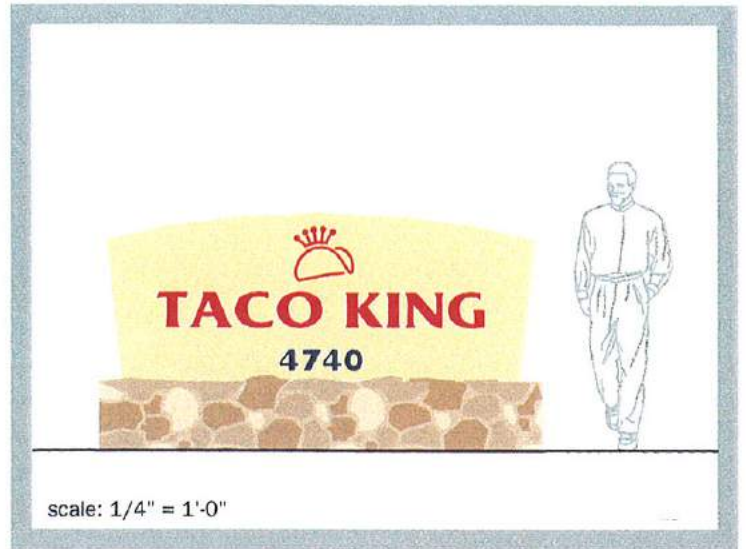


48TH STREET



PROJECT ENTRY SIGN SETBACK

Sign Type: I
Scale: not to scale



scale: 1/4" = 1'-0"



Front Elevation

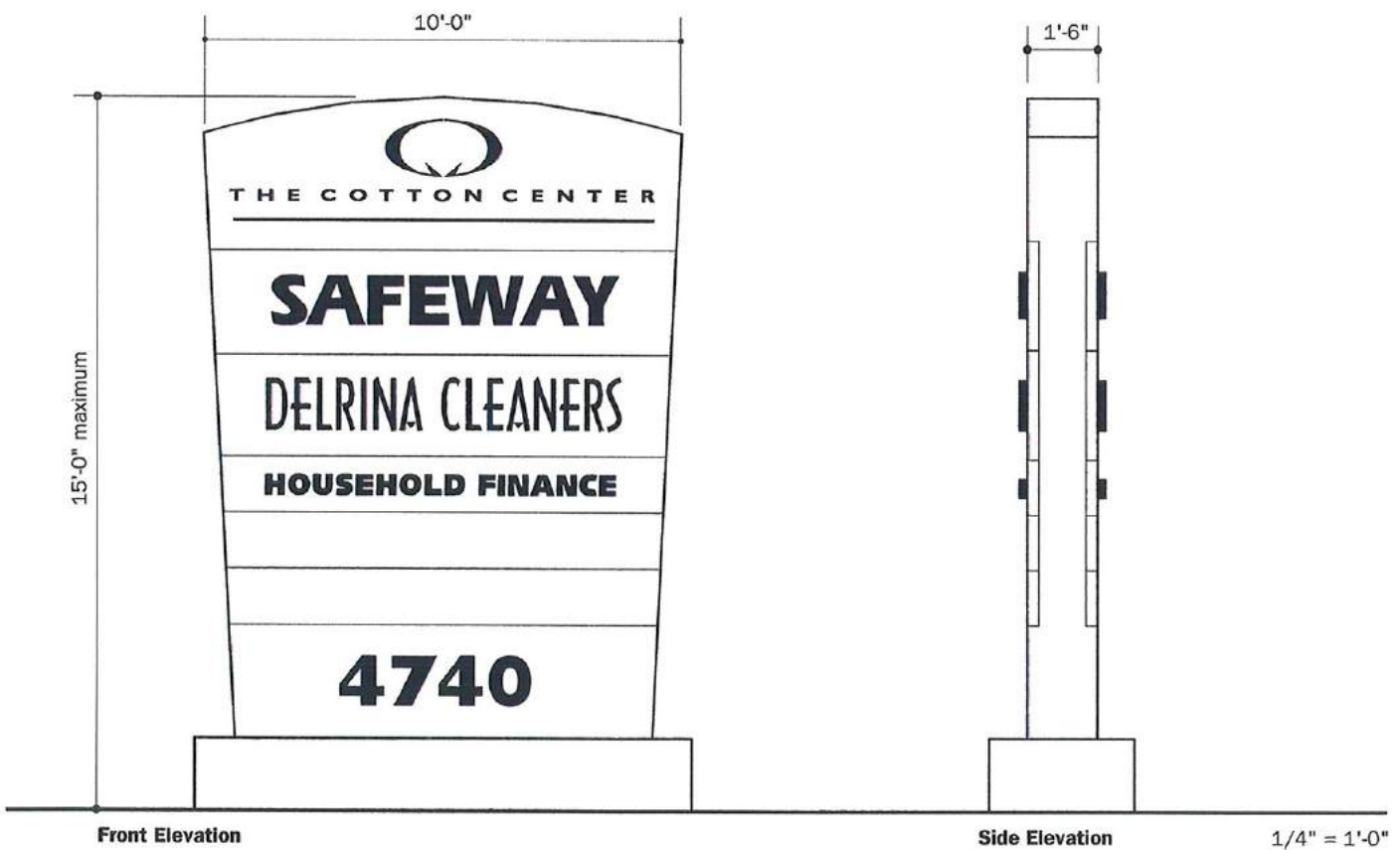
Side Elevation 1/2" = 1'-0"



Materials Stone base; painted aluminum body; routed, punch-through acrylic letters and painted or laminated faces.
Size (see above)
Illumination Internal.
Elements The project name, logo and building address.
Variables Color to coordinate with project's architecture. Type style to coordinate with project name.

PRIMARY IDENTIFICATION SIGN
 COMMERCIAL
 SINGLE USER

Sign Type: 2A
 Scale: as noted



Materials Stone base; painted aluminum body; routed, punch-through acrylic letters and painted or laminated faces.

Size (see above)

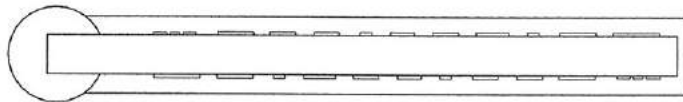
Illumination Internal.

Elements The Cotton Center logo, project names and building addresses.

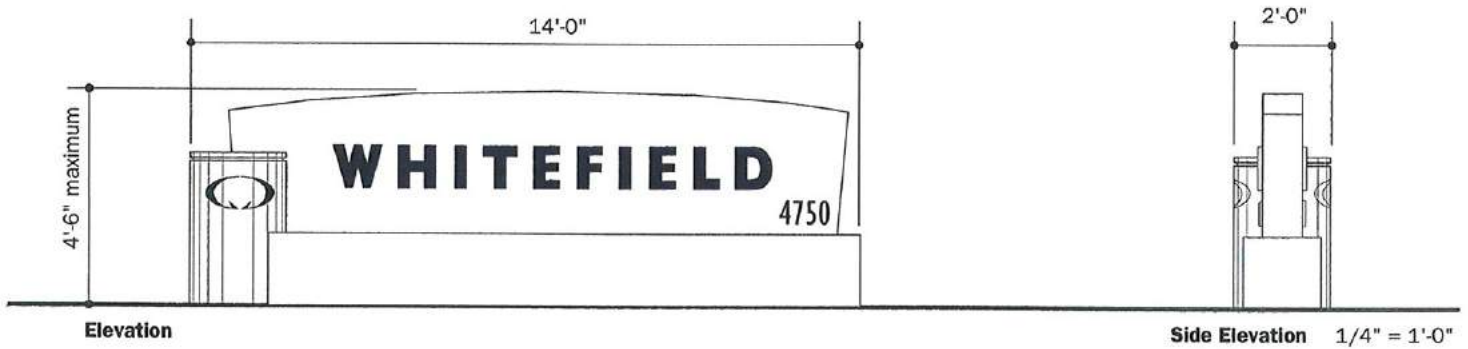
Variables Color to coordinate with project's architecture. Type style to coordinate with project name.

PRIMARY IDENTIFICATION SIGN
COMMERCIAL
MULTI-TENANT

Sign Type: 2B
Scale: as noted



Plan View



Materials Poured-in-place concrete cylindrical column with recessed logo form; stone base; painted aluminum body; routed, punch-through acrylic letters and painted or laminated faces.

Size (see above)

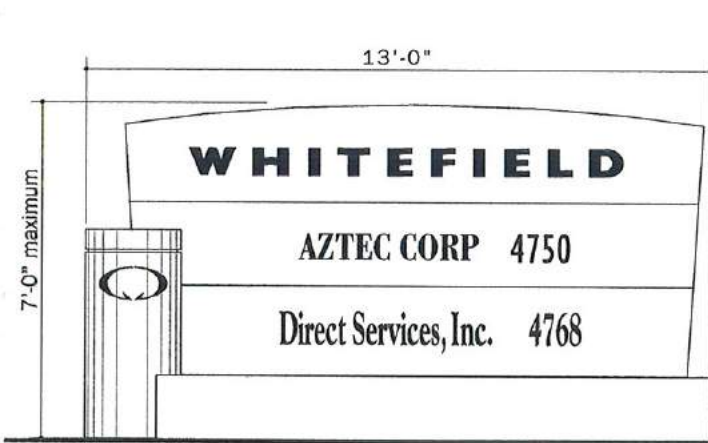
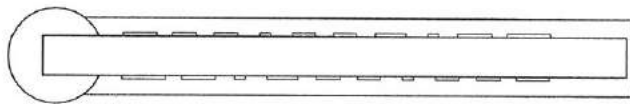
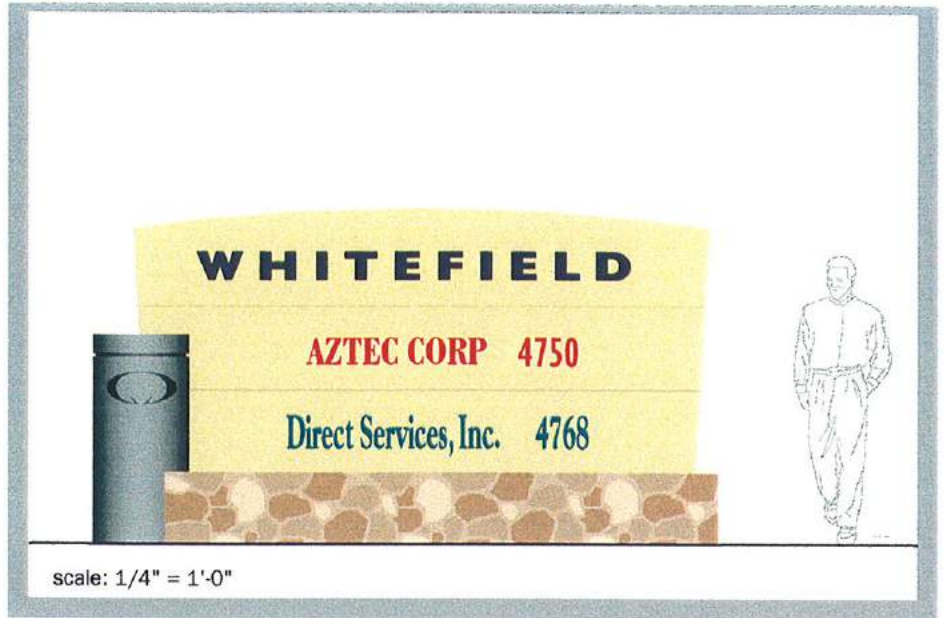
Illumination Internal.

Elements The Cotton Center logo, project name and building address.

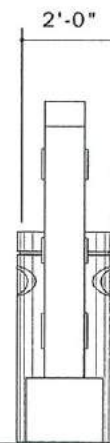
Variables Color to coordinate with project's architecture.
Type style to coordinate with project name.

PRIMARY IDENTIFICATION SIGN
BUSINESS/LIGHT INDUSTRIAL
SINGLE USER

Sign Type: 3A
Scale: as noted



Front Elevation



Side Elevation

1/4" = 1'-0"



Materials Poured-in-place concrete cylindrical column with recessed logo form; stone base; painted aluminum body; routed, punch-through acrylic letters and painted or laminated faces.
Size (see above)
Illumination Internal.
Elements The Cotton Center logo, project names and building addresses.
Variables Color to coordinate with project's architecture. Type style to coordinate with project name.

PRIMARY IDENTIFICATION SIGN
 BUSINESS/LIGHT INDUSTRIAL
 MULTI-TENANT

Sign Type: 3B
 Scale: as noted

20' Landscape Easement

20' Landscaped Median

Sidewalk

Parcel Identification Sign

Sight Visibility Triangle

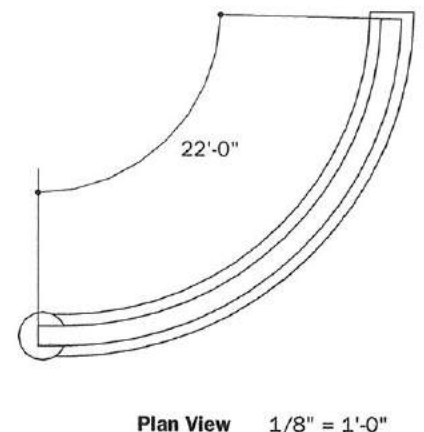
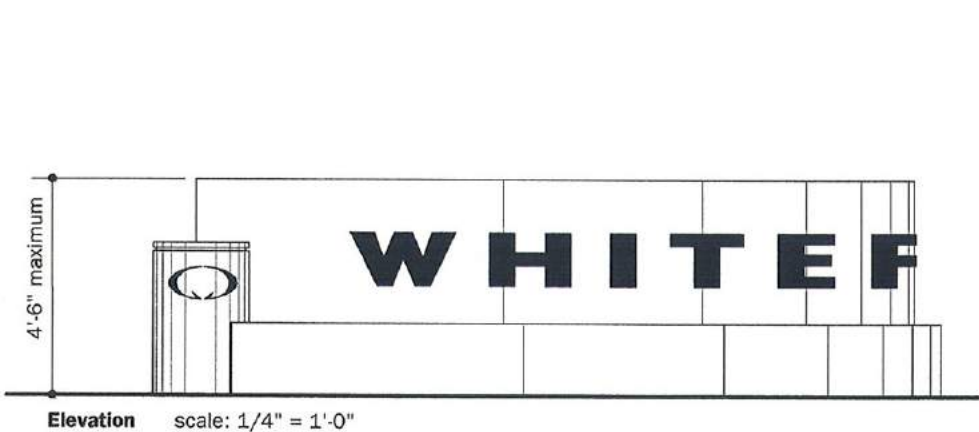
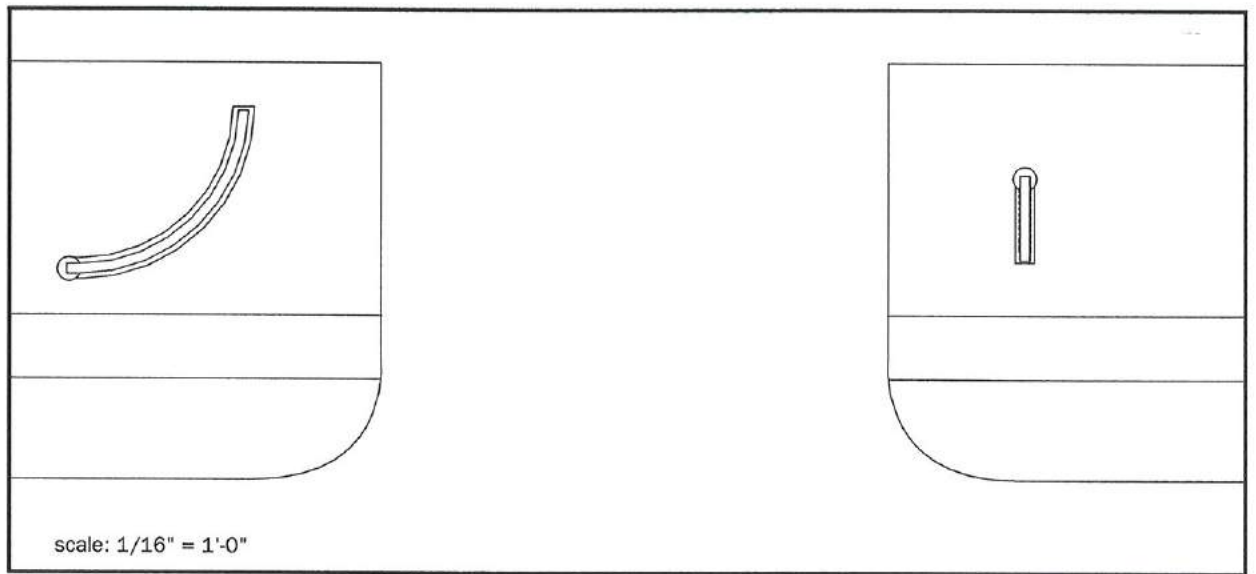


PRIMARY IDENTIFICATION SIGN SETBACK

BUSINESS/LIGHT INDUSTRIAL

Sign Type: 3A
Scale: 1"=30'





Materials Poured-in-place concrete cylindrical column with recessed logo form; stone base; painted aluminum body; routed, punch-through acrylic letters and painted or laminated faces.

Size Internal.

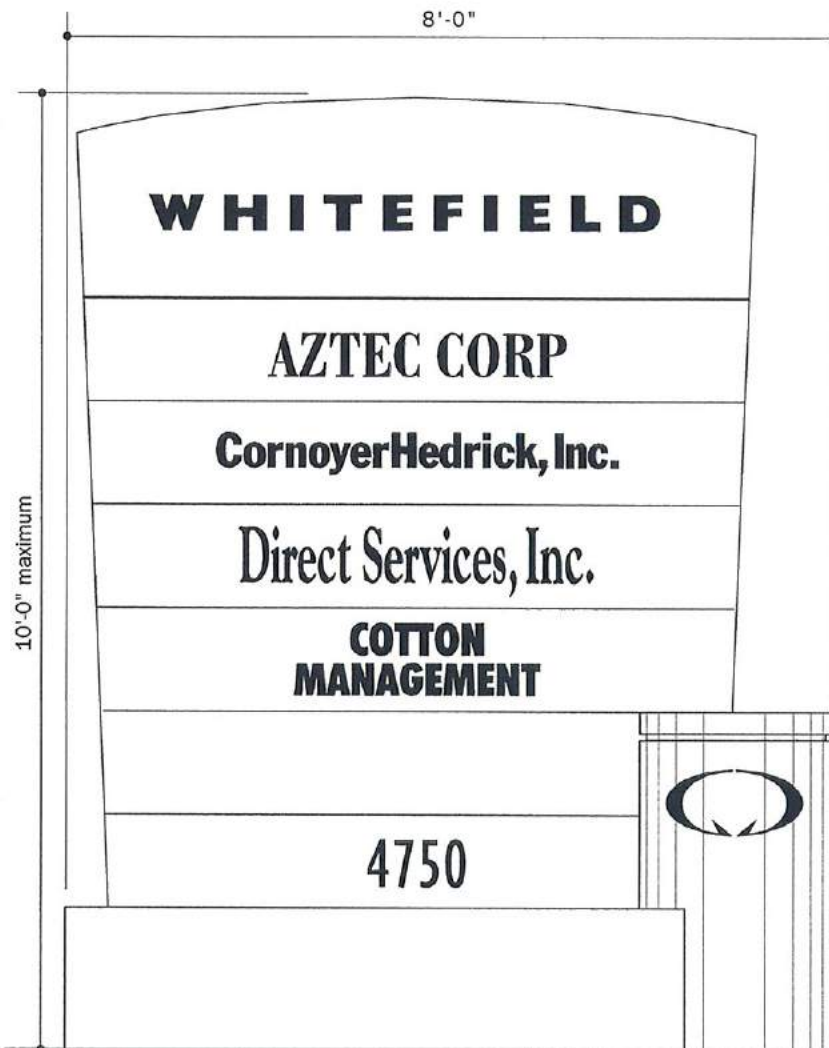
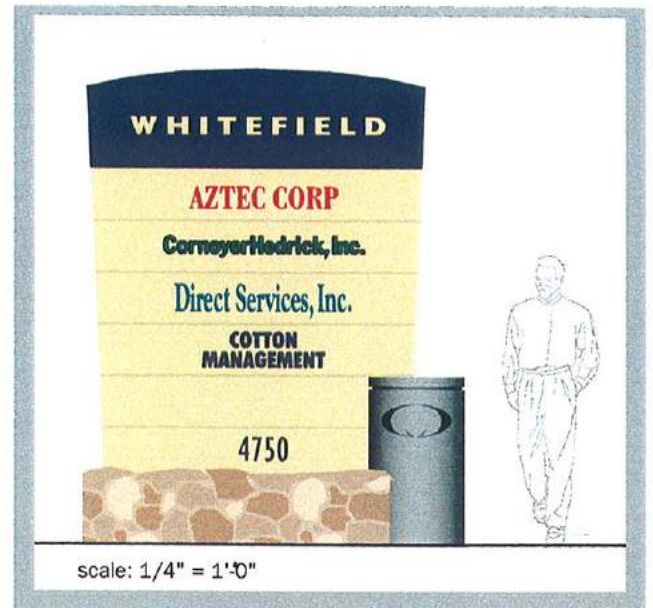
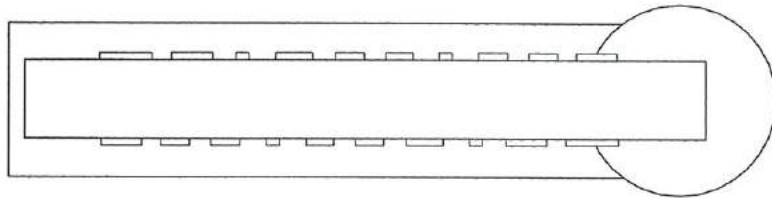
Illumination Internal.

Elements The Cotton Center logo and project name.

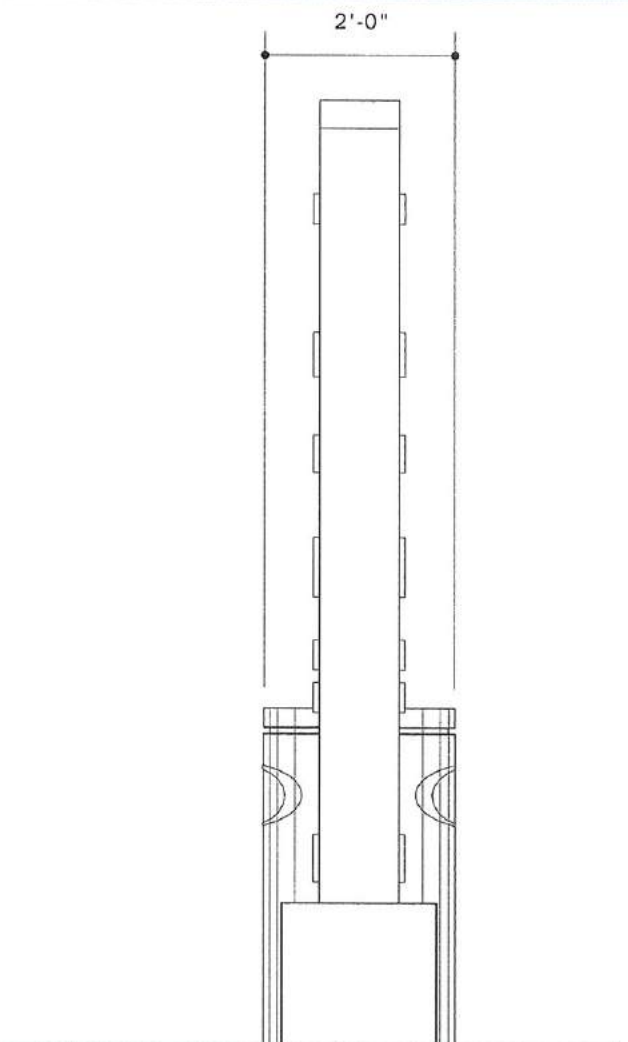
Variables Color to coordinate with project's architecture.
Type style to coordinate with project name.

PRIMARY IDENTIFICATION SIGN
BUSINESS/LIGHT INDUSTRIAL
MULTI-TENANT COMPLEX

Sign Type: 3C
Scale: as noted



Front Elevation



Side Elevation 1/2" = 1'-0"



THE COTTON CENTER

Materials Poured-in-place concrete cylindrical column with recessed logo form; stone base; painted aluminum body; routed, punch-through acrylic letters and painted or laminated faces.

Size (see above)

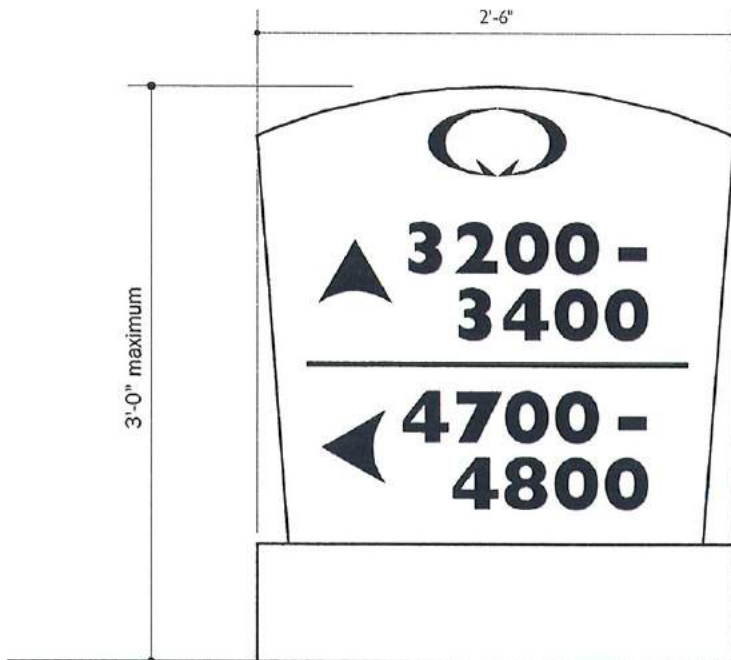
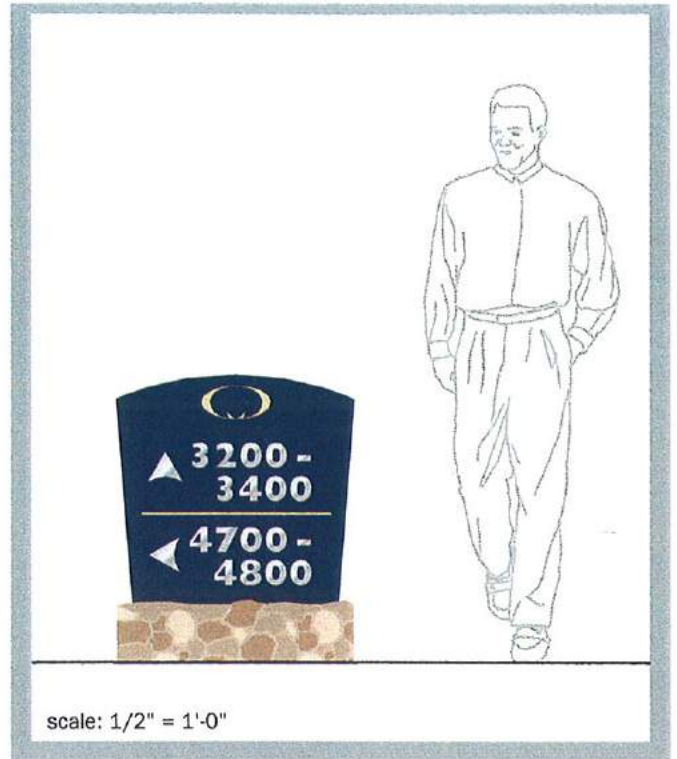
Illumination Internal.

Elements The Cotton Center logo, project names and building addresses.

Variables Color to coordinate with project's architecture. Type style to coordinate with project name.

PRIMARY IDENTIFICATION SIGN
 BUSINESS/LIGHT INDUSTRIAL
 MULTI-TENANT COMPLEX

Sign Type: 3C
 Scale: as noted



Front Elevation



Side Elevation

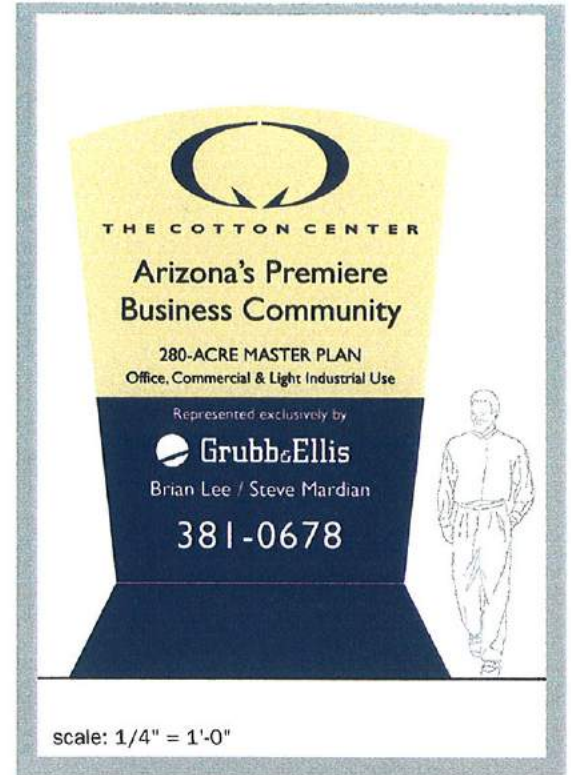
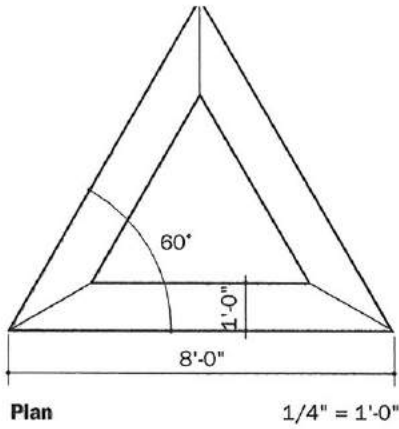
1" = 1'-0"



Materials Stone base; painted aluminum body; metal cut letters.
Size (see above)
Illumination Indirect.
Elements The Cotton Center logo, arrows and building addresses.
Variables When used in parcel interior, color to coordinate with project's architecture. Type style to coordinate with project name.

PROJECT DIRECTIONAL SIGN

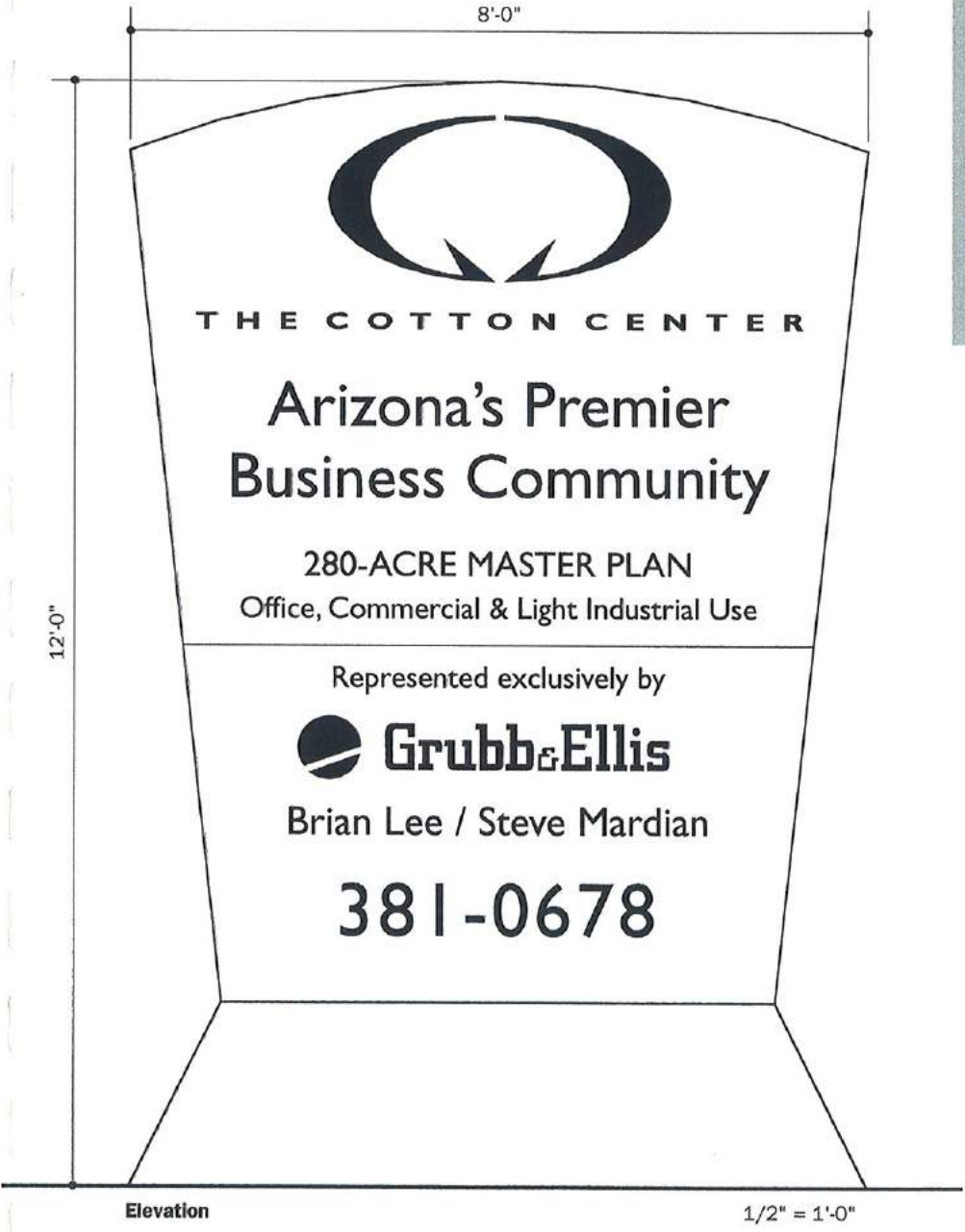
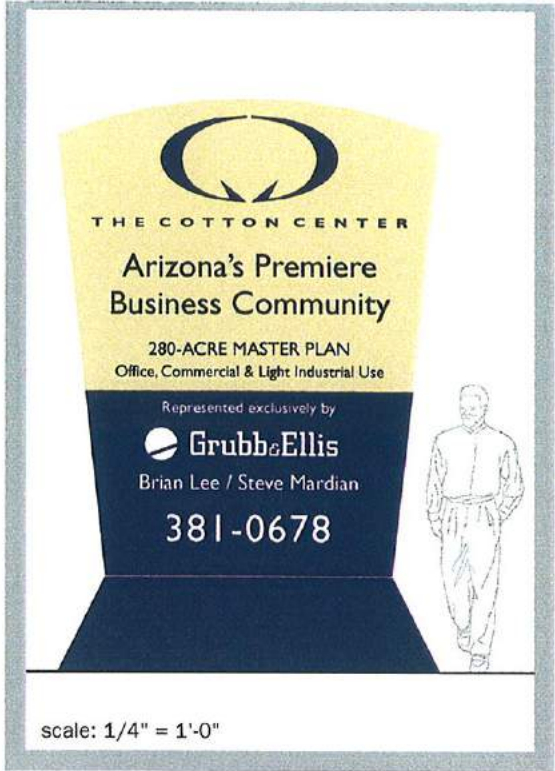
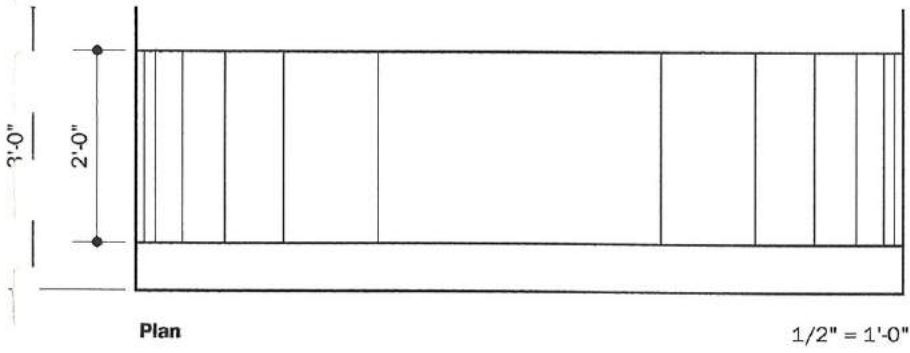
Sign Type: 4
 Scale: as noted



Painted 1/4" thick Medex sign will be placed at the overall project site for project identification and contact information. The Cotton Center logo and logo type will be permanent vinyl. Copy will be vinyl. To be located on the southwest corner of 48th Street and Broadway Road. The light khaki will be used on the top portions of the sign and the purple on the bottom. There will be one (1) sign on the project site, and it may be relocated periodically as the project develops.

MARKETING DEVELOPMENT SIGN
THREE-SIDED

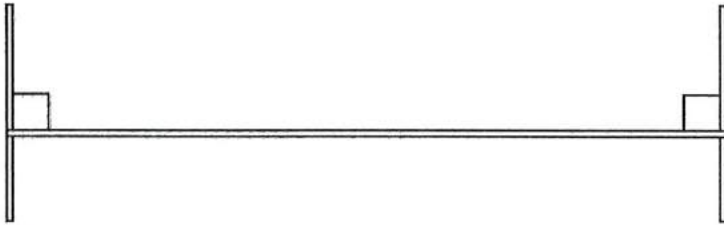
Sign Type: T1
Scale: as noted



Like the three-sided version, this sign will be positioned perpendicular to the road to be seen by both directions of traffic. The Cotton Center logo and logo type will be permanent vinyl. Copy will be vinyl. To be located along 40th Street and south of Broadway Road. The light khaki will be used on the top portions of the sign and the purple on the bottom. There will be one(!) sign on the project and it may be relocated periodically as the project develops.

MARKETING DEVELOPMENT SIGN
DOUBLE-FACED

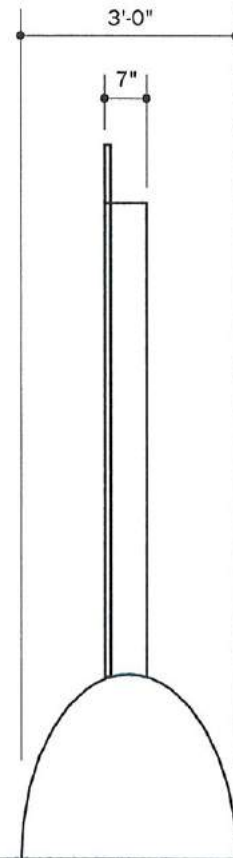
Sign Type: T2
Scale: as noted



Plan



Elevation



Side

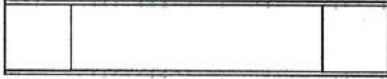
scale: 3/8" = 1'-0"



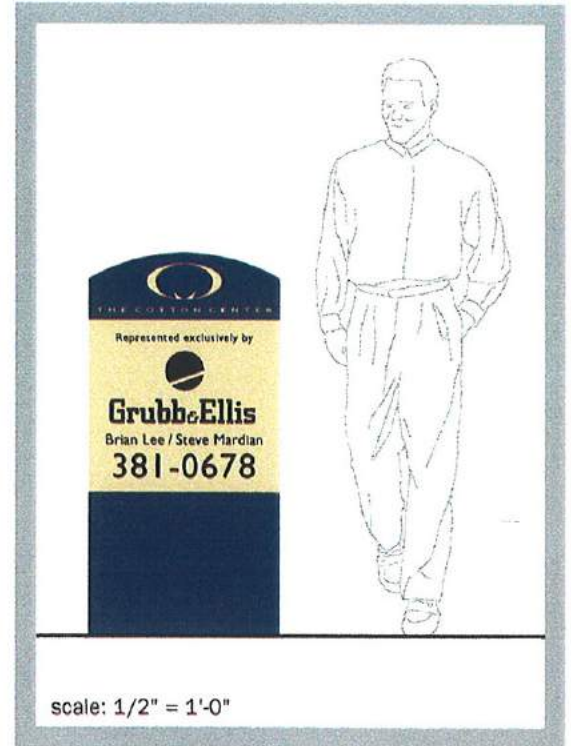
Painted 1/4" thick Medex sign will be placed at building sites to identify the construction in the development stage. The Cotton Center logo and logo type will be permanent vinyl. Copy will be vinyl. The purple will be used on the top portion of the sign and the light khaki on the bottom. There will be one(1) sign per parcel per street frontage. These signs will be removed upon completion of construction.

CONSTRUCTION SIGN
SINGLE-FACED

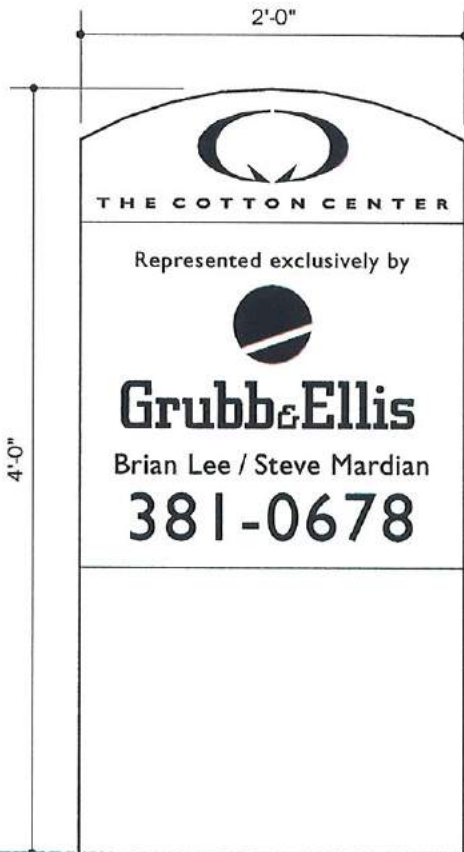
Sign Type: T3
Scale: as noted



Plan



scale: 1/2" = 1'-0"



Elevation



Side



Painted 1/4" thick Medex sign will be placed at building sites to identify leasable property within the building. The Cotton Center logo and logo type will be permanent vinyl. Copy will be vinyl. The purple will be used on the top and bottom portions of the sign and the light khaki in the middle sign area. There will be no more than one(1) sign per 300 feet of frontage per parcel. These signs will be relocated periodically as the parcel is developed.

TEMPORARY LEASING SIGN
SINGLE-FACED
DOUBLE-FACED

Sign Type: T4
Scale: as noted

3 PROJECT IDENTIFICATION STANDARDS

TYPOGRAPHIC
SAMPLES

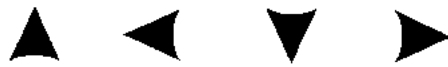
Gill Sans Regular

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z
a b c d e f g h i j k l m n o p q r s t u v w x y z
0 1 2 3 4 5 6 7 8 9

Gill Sans Bold

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z
a b c d e f g h i j k l m n o p q r s t u v w x y z
0 1 2 3 4 5 6 7 8 9

ARROW
STYLE



COLOR
SAMPLES



Pantone 4535C / Frazee 8192W Graceful Gold



Pantone 527C / Frazee 7006N Purple Passion