



THE COTTON CENTER

# DESIGN GUIDELINES

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**T H E C O T T O N C E N T E R**

Issue Date: July 1998

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## INTRODUCTION

The Cotton Center is a 280-acre master-planned business park located on the south side of Broadway Road, between 40th Street and 48th Street in Phoenix, Arizona.

The Cotton Center is subject to a Declaration of Covenants, Conditions, Easements and Restrictions as may be amended from time to time (the CC&R's). The term "Approving Agent" as used in these Design Guidelines means the Declarant under the CC&R's (and its successors and assigns) with the right of the Declarant, as specified in the CC&R's to, in the future, assign the rights of the Approving Agent to the Architectural Design Review Committee appointed pursuant to the CC&R's.

These Design Guidelines do not supersede, but rather supplement, the CC&R's, and the specific requirements and parameters included therein shall apply. The Applicant

should refer to the CC&R's for a variety of specific requirements. The goal of the CC&R's and Design Guidelines is to ensure the development of a consistently high quality environment, thus protecting and enhancing the investment of all those locating within The Cotton Center.

These Design Guidelines shall apply to all properties in The Cotton Center and are in addition to the requirements of the Phoenix Zoning Ordinance, Building Code, and CC&R's. All standards set forth herein are subject to the criteria established in the current Federal, State or City of Phoenix Regulations, whichever criteria are the most restrictive.

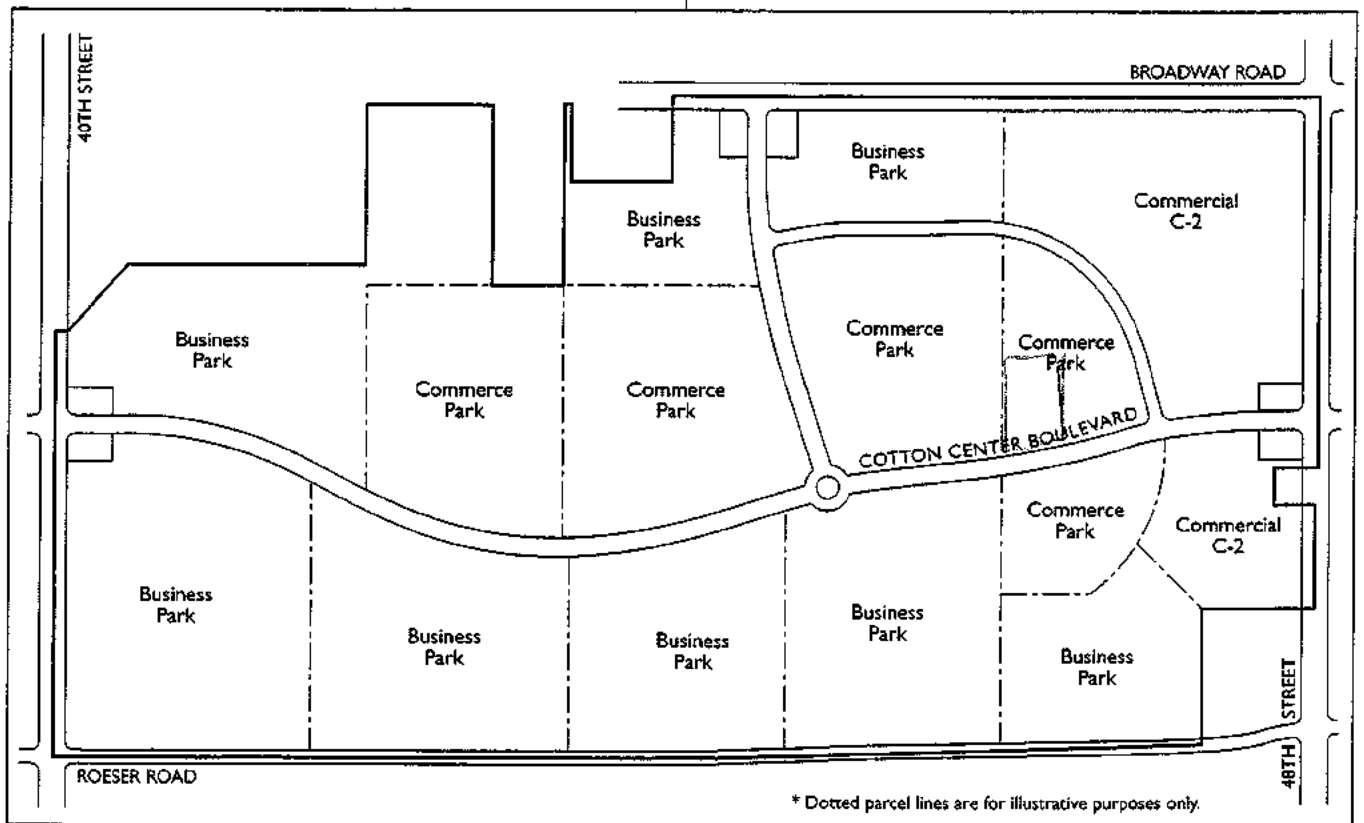


Fig. 1.1 The Cotton Center Land Use Plan

## II DESIGN REVIEW AND APPROVAL PROCEDURES

### A Procedure

In order to ensure the orderly marketing and development of the property, all building construction and site improvements must be reviewed and approved by the Approving Agent before any on site construction commences. This includes remodeling and additions to approved improvements. Applicants must also have plans reviewed and approved by the City of Phoenix.

Prior to preparing a submittal, the Applicant should obtain from the Developer copies of The Cotton Center CC&R's and such additional infrastructure plans as required to properly integrate the proposed improvements with the existing off-site and utility improvements adjacent to the Applicant's site. In addition, the Applicant should obtain copies of the most recent City of Phoenix Zoning Regulations and Building Code.

The Applicant starts the formal review process with submission of the documents described below. Each submittal must be accompanied by an Application Fee of \$500.00. Project of extraordinary design complexity may require an additional fee, because of additional review time required. If a variance from these Design Guidelines is requested, it should be specifically stated in the submittal with full documentation supporting the merits of the request.

After review of a submittal, the Approving Agent will return the plans to the Applicant marked "Approved" or "Approved Subject to Conditions" or "Not Approved" with the following intended meanings:

- 1 "Approved" - approved documents permit the Applicant to proceed to the next stage of the approval process.
- 2 "Approved Subject to Conditions" - documents so marked permit the Applicant to proceed to the next stage of the approval process provided the Applicant complies with the conditions specified by the Approving Agent.
- 3 "Not Approved" - documents will be returned to the Applicant with comments describing the basis for disapproval. Revised documents must be resubmitted if approval is sought. An additional design review fee may be imposed.

### B Master Plan Design Submittal

Submission of a site Master Plan will be required only when the ultimate site development is planned to be constructed in separate phases over a period of time. The site Master Plan is

to be submitted and approved before Schematic Plans are submitted.

Applicant should submit one set of 24" x 36" vellum or mylar originals for review and comment by the Approving Agent. The Approving Agent will mark-up originals and return to Applicant with comments. The Approving Agent will retain a print of the marked-up plan for future reference.

Master Plan submissions shall show:

- 1 Site Plan showing all major buildings and structures including:
  - a building footprints
  - b overhangs
  - c net floor area for each phase
  - d site coverage ratio (building or ground contact area divided by net lot area)
  - e floor area ratio (FAR) (gross building area divided by net lot area)
  - f a brief description of the intended use of each building or structure including an estimate of the number of employees
  - g building setback lines
  - h Landscape and Pedestrian circulation concept including any major site design features
  - i Interfaces with off-site circulation including the location and design of all access drive curb cuts
  - j Interfaces with adjacent properties
- 2 Parking Area
  - a configuration of parking and vehicular circulation including employee and guest parking
  - b dimensions of typical parking stalls and parking aisles, parking canopies and parking structures
  - c total parking provided by category: standard, covered, compact, handicap
  - d calculation of parking ratio: gross building area divided by the number of spaces provided for each phase
- 3 Loading, Storage and Service Areas
  - a design and location of truck service and loading dock areas
  - b design and location of truck and service vehicle circulation areas
  - c design and location of trash enclosure areas
  - d design and location of screening devices for truck storage, waste and refuse and service areas
- 4 Conceptual grading, drainage and utility connections

- 5 Descriptions or sketches of the architectural design concept including intended character and materials
- 6 Phasing Plans - plans indicating the phasing of the ultimate Master Plan development illustrating the extent of development at the completion of each phase
- 7 Signage Concept - Approximate location of freestanding and building signage

While the above information is required for all Master Plan submissions, it would be desirable for Applicants to utilize all available presentation materials and media in order to fully communicate the intent and design character to the Approving Agent. Once the master plan is approved, each phase of construction shall submit for schematic and final plan reviews.

### **C Schematic Plan Submittal**

The Schematic Plan submittal is required to give an indication of the design, character and extent of the proposed immediate development. The Schematic Plan is to be submitted and approved before Final Plans are submitted.

Applicant should submit one set of 24"x36" vellum or mylar originals for review and comment by the Developer. In addition, a site plan reduced to 1" = 200' shall be submitted. The Developer will mark-up originals and return to Applicant with comments. The Approving Agent will retain a print of the marked-up plan for future reference.

Schematic Plan submissions shall show:

- I Site plan showing location of all major buildings and structures including:
  - a building setback lines
  - b building footprints, parking areas, vehicular and pedestrian circulation, and loading, service and storage areas
  - c interfaces with off-site circulation including the location and design of all access drive curb cuts
  - d overhangs
  - e net floor area
  - f site coverage ratio (building or ground contact area divided by net lot area)
  - g floor area ratio (FAR) (gross building area divided by net lot area)
  - h a brief description of the intended use of each building or structure, including an estimate of the number of employees
  - i parking, loading requirements per code and those provided

- 2 Schematic architecture of all structures:
  - a elevations of all building facades
  - b descriptions or sketches of the architectural design concept including intended character, colors and materials
- 3 Landscape concepts indicating general location, massing, and types of materials.
- 4 Schematic signage design showing locations, elevations, colors, and materials of all signage.
- 5 Grading, drainage concepts and utility connections.

The above information is required for all Schematic Plan submissions. It would be desirable for Applicants to utilize all available presentation materials and media in order to fully communicate the intent and design character of the proposed development to the Approving Agent.

### **D Final Plan Submittal**

The Final Plan submittal is required to convey specific working drawing information about the site planning and architecture of the proposed development. The Final Plan submittal should be submitted to the Approving Agent prior to or concurrently with submission of plans to the City of Phoenix for Site Plan Review and/or Building Safety Review.

The Applicant should submit one set of 24"x36" vellum or mylar originals for review and comment by the Approving Agent. In addition, a site plan reduced to 1" = 200' shall be submitted. Material and color samples shall be submitted with the application. Site plans shall be at least 1" = 50' and building elevations shall be at least 1/4" = 1'-0". The Approving Agent will mark-up originals and return to Applicant with comments. The Developer will retain a print of the marked-up plan for future reference.

All construction, landscaping, signage, etc., undertaken by an Applicant must conform in all respects to the approved Final Plan Submittal.

The Final Plan Submittal requires each of the following exhibits:

- I Site Plan indicating the following:
  - a building footprints and dimensions to property lines
  - b building roof overhangs
  - c configuration for parking and vehicular circulation areas
  - d truck service, loading area, trash enclosures
  - e lines of setbacks and easements

- f adjacent roadways including curb lines, curb cuts, medians and median openings
  - g exterior light fixture locations
  - h tabulation of:
    - i parcel area
    - ii total building floor area
    - iii site coverage
    - iv floor area ratio
    - v total parking provided
    - vi total parking required
- 2 Conceptual Grading and Drainage Plan indicating:**
- a proposed finish grades, slopes and building pad elevations
  - b site drainage structures and systems/location of retention areas
  - c grades of existing streets and curbs
  - d locations of street lighting and utility structures within landscape easement
- 3 Conceptual Landscape Plan indicating:**
- a plant materials, sizes and spacings
  - b walkways and paved areas
  - c other landscape design features
  - d screen walls, location and details
  - e security fencing, location and details
- 4 Building Elevations of all sides of all proposed buildings indicating:**
- a wall and roof materials, textures and colors
  - b locations of wall mounted signage and lighting
  - c roof and parapet heights above ground floor line
  - d the profile of any roof-mounted mechanical equipment which extends above the roof parapet
- 5 Building Floor Plans**
- 6 Building Roof Plans indicating:**
- a roof elevations above finish floor
  - b heights and locations of roof-mounted mechanical equipment
- 7 Outline specification of all building materials**
- 8 Conceptual graphics and wall mounted signs**
- a ground signs and wall mounted signs
    - i locations
    - ii designs, materials, textures, colors, heights, areas
    - iii illumination
    - iv typography

- b directional and information signs
  - i locations
  - ii designs, materials, textures, colors, heights, areas
  - iii illumination
  - iv typography

## **E Variances**

The Applicant may request a variance from the standards established in the Design Guidelines. The Approving Agent may at its sole discretion approve such variances on a case by case basis. Each variance shall be approved or denied based on the merits of the requested variance relative to the site's specific conditions. Such approved variances shall not obligate the Approving Agent to approve similar variances for subsequent Applicants.

Applicants should submit a written request for the variance to the Approving Agent along with sketches and samples to support the request for granting the variance.

Applicants should submit variance requests with proposed master plan, schematic and final plans.

## **F Effect of Approval of Applicants' Submissions**

The Approving Agent's approval of the Applicant's plans, specifications, calculations or work shall not constitute an implication, representation or certification by The Cotton Center or the Approving Agent that the above items are in compliance with applicable Statutes, Codes, Ordinances or other Regulations.

The Cotton Center Design Guidelines are in no way intended to supersede any applicable Statutes, Codes, Ordinances or Regulations imposed by controlling governmental authorities. Any discrepancies between these Design Guidelines and any such Statutes, Codes, Ordinances or other Regulations should be brought to the immediate attention of the Approving Agent.

The Applicant shall have the sole responsibility for compliance with all applicable Statutes, Codes, Ordinances or other Regulations for all work performed on the premises by or on behalf of the Applicant.

### III SITE PLANNING GUIDELINES

#### A Site Grading

The purpose of the Site Grading Guidelines is to unify the grading of The Cotton Center in terms of earth form, retention of storm water and compatibility of relationships between buildings, parking, road and adjacent properties. All site grading, therefore, shall conform to the following requirements:

- 1 Lot grading will be done in such a way as to preserve the topographic features and to provide positive drainage. All site grading shall be designed to meet the following standards:

	Minimum Slope	Maximum Slope
Planting areas	2%	4:1
Parking lot pavement	2%	4%
Driveways, access drives	2%	6%
Pedestrian pavements (large "plaza" areas)	1%	2%
Pedestrian pavements (sidewalks)	1%	5%

- 2 No cut or fill slopes of any type shall be steeper than 4:1 with smooth vertical transitions. Where space limitations demand, terracing with approved retaining walls shall be utilized.
- 3 Where retaining walls are required, they shall be of a material compatible with the building architecture.
- 4 Berms, channels, swales, etc. shall be graded in such a way as to be an integral part of the grading and paved surface and designed with smooth vertical transitions between changes in slope (See Fig. 3.1). Berms shall not exceed 3'-6" in height above finished grade. Swales and other water control or retention areas shall have a natural land form appearance. Avoid hard edges and the creation of a trough-like appearance (See Fig. 3.2).
- 5 Storm water shall be retained on site where necessary in conformance with the City of Phoenix Standards and The Cotton Center Drainage Plan.
- 6 Adequate diking of outdoor storage areas shall be provided where any chemicals or other substances used or kept on site present any potential risks downstream of the site.

#### B Setback Requirements

The purposes of the Setback Requirements are to establish a coordinated streetscape image and to provide sufficient space between roads, buildings and parking to ensure privacy and sound control.

- 1 Setbacks for buildings and parking lots from adjacent street rights-of-way shall be as follows:

Roadway	Building Setback	Parking Setback
Roeser Road	75'	30'
Broadway Road	30'	30'
40th Street	30'	30'
48th Street	30'	30'
Cotton Center Blvd	30'	24'
44th Place	30'	20'

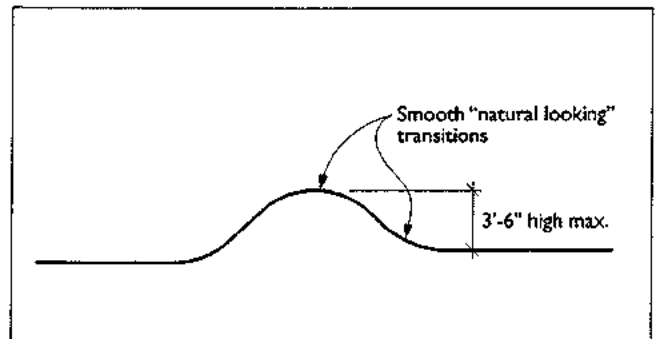


Fig. 3.1 Land form grading.

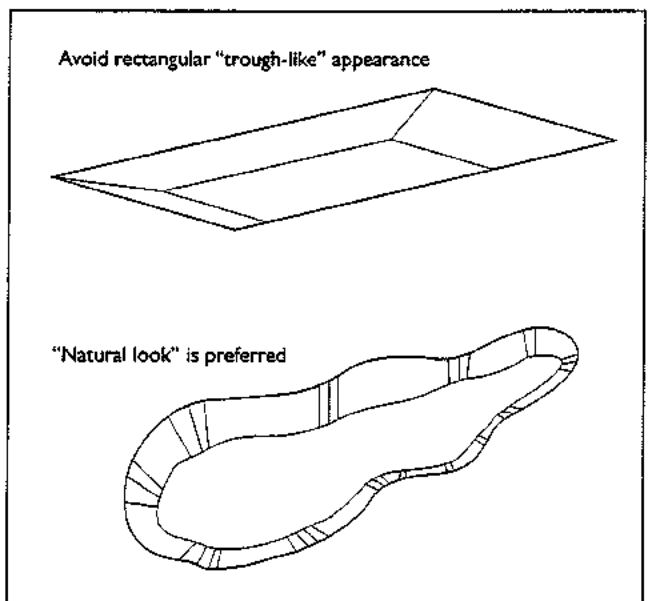


Fig. 3.2 Grading for swales and retention areas.



- 2 Setbacks for buildings from side property lines other than along street frontages shall be a minimum of 10'-0".
- 3 There shall be no required minimum rear yard building setback. Corner lots shall be deemed to have no rear lot lines and shall therefore comply with paragraphs 1 and 2 above.
- 4 Setbacks for driveways from adjacent property lines, other than along street frontages, shall be a minimum of 10'-0" except where access driveways are shared by adjacent owners.
- 5 No building may be located less than 55'-0" from the intersection of the right-of-way lines of two streets.
- 6 Roof overhangs and/or shading devices may extend a maximum of 6'-0" into all setback areas.
- 7 All setback areas shall be planted in accordance with the Landscape Guidelines except those portions used for pedestrian pavements.

### **C Open Space**

Building, parking lot and roadway paving coverage shall be limited to provide a minimum of 15 percent unobstructed open space on all properties. Unobstructed open space may include any landscaped areas, pedestrian pavements (sidewalks and plazas) passing through open space areas and any parking lot island.

### **D Walls/Fencing Guidelines**

The purpose of the Walls/Fencing Guidelines is to provide for security, screening of unsightly areas, visual relief and buffering.

- 1 No fence or wall of any kind shall be constructed unless specifically approved by the Approving Agent.
- 2 Objects such as water towers, storage tanks, processing equipment, cooling towers, communication equipment, vents and any other structures or equipment shall be compatible with the building architecture or screened from adjacent properties, parking areas, public streets and pedestrian walkways by using fences and/or walls and shall be approved in writing by the Approving Agent before construction or erection of said structures or equipment.
- 3 Screen fences or walls shall be of a height at least equal to that of the materials or equipment being stored or screened.

- 4 Materials and colors for fences and walls shall be compatible with the building architecture.
- 5 Chain link fencing is not permitted in areas visible from adjacent properties, parking areas, public streets and pedestrian walkways.
- 6 Where chain link fencing is to be employed, it shall be of a dark color and where possible be largely hidden behind plant materials and/or earth mounding.
- 7 No fence or wall shall exceed a height of 8'-0" unless otherwise approved in writing by the Developer.
- 8 There shall be no fences within building setbacks and walls within building setbacks shall be no more than 3'-6" high.

### **E Storage, Waste and Refuse Guidelines**

The purpose of the Storage, Waste and Refuse Guidelines is to insure that all stored material will be screened from adjacent properties, parking areas, public streets and pedestrian walkways.

- 1 No articles, goods, materials, machinery, equipment, vehicles, plants, trash, waste or refuse, animals or similar items shall be exposed to view from adjacent properties, parking areas, public streets or pedestrian walkways.
- 2 Any article, good, or material to be stored other than in an enclosed, covered building shall be enclosed either with a screen fence or wall (refer to Fencing Guidelines).
- 3 Vehicles shall be stored in specifically designated areas only. If vehicles are to be stored for more than 48 hours, they shall be stored in an area screened from adjacent properties, parking areas, public streets and pedestrian walkways.
- 4 All outdoor refuse collection areas shall be visually screened by an 8'-0" high gated enclosure. A minimum of one, eighteen (18) square foot refuse enclosure shall be provided for each forty thousand (40,000) gross square feet or fraction thereof of building area.

Collection areas must be situated to provide clear and convenient access to refuse collection vehicles.

Gates are to be compatible with architectural character.

## **F Loading and Service Area Guidelines**

The purpose of the Loading and Service Area Guidelines is to provide for the design of loading and servicing areas in a functional and aesthetically pleasing manner.

- 1 Where possible no loading or servicing areas shall be visible from public streets or building entries.
- 2 Loading and servicing areas shall be designed as an integral part of the building architecture.
- 3 Loading and servicing areas shall be designed so that the entire loading or servicing operation is conducted within the confines of the building site.

## **G Vehicular Circulation and Parking Guidelines**

The purpose of the Vehicular Circulation and Parking Guidelines is to provide for safe and convenient movement of motor vehicles within The Cotton Center development.

- 1 All parking facilities on each site shall in the opinion of the Developer be sufficient to serve the business conducted without using adjacent streets or parking lots. In the case of multiple-use buildings, such as office and production, parking requirements shall be determined for each use separately.
- 2 Minimum Parking Stall Dimensions shall conform to City of Phoenix Zoning Ordinance.
- 3 Parking is restricted to paved and designated parking spaces only. Each owner and occupant shall be responsible for compliance by their respective employees and visitors.
- 4 Parking will not be permitted on any street.
- 5 Handicapped parking shall be provided in accordance with City of Phoenix standards.
- 6 All parking shall be screened from public streets by appropriate landscaping berms or walls (refer to Landscape Guidelines).
- 7 All parking spaces must be designated by painted lines or pavement markers.
- 8 Employee parking shall be located behind or to the side of buildings. Only guest parking is permitted at the front of a building and shall be screened.
- 9 The maximum distance from a parking space to a building entry shall not exceed five hundred (500) feet.

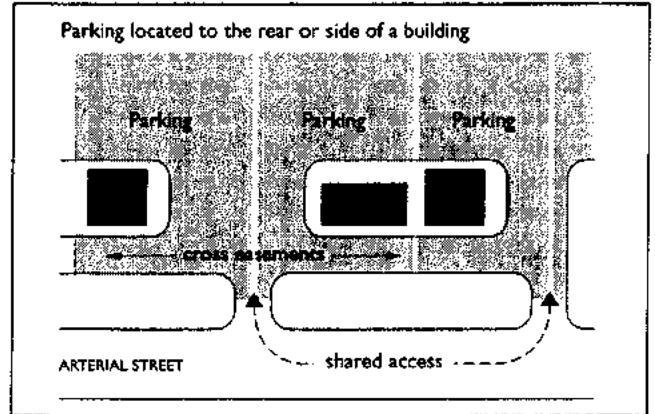


Fig. 3.3 Commercial sites adjacent to arterial street.

- 10 Sharing of driveways between adjacent sites is required for commercial sites gaining access from an arterial street and is encouraged in all other areas. Cross easements between commercial parcels shall be provided to allow off-street access and movement between parcels.
- 11 The use of geometrically patterned and textured concrete or other natural materials such as brick and stone is encouraged (Fig. 3.3).

## **H Pedestrian and Bicycle Circulation Guidelines**

The purpose of the Pedestrian and Bicycle Circulation Guidelines is to promote free and safe movement of pedestrians and bicyclists throughout The Cotton Center.

- 1 All sidewalks shall have an unobstructed width of at least 5'-0".
- 2 Site sidewalks should connect site amenities, building entries, courts, parking areas, and public sidewalks.
- 3 Sidewalk surface material, texture and location shall be reviewed by the Developer considering their effects on circulation.

## **I Site Utilities Guidelines**

The purpose of the Site Utilities Guidelines is to promote the coordinated development of utilities in The Cotton Center and to minimize utility costs and adverse visual impacts caused by utility structures and appurtenances.

- 1 The Applicant must provide utility easements as identified on The Cotton Center utility plan.
- 2 Except for certain utility lines existing, as of June 1, 1998, all permanent utility lines shall be underground.

- 3 Group transformers with utility meters must be used where possible. They shall be screened in a manner approved by the Approving Agent.
- 4 Utility appurtenances including telephone pedestals, utility meters, irrigation system backflow preventers, transformers, etc., are not to be visible from adjacent properties, parking areas, public streets and pedestrian walkways. They shall be screened by low walls and/or plantings, or in a manner approved by Approving Agent.
- 5 Applicant shall tie into sanitary and storm sewer stub-outs provided to avoid disturbance to existing pavements.
- 6 Applicant shall tie into water main stub-outs where possible.
- 7 Where cuts in existing streets are made for utility work, all cutting, backfilling and paving shall be done in strict accordance with City of Phoenix specifications and procedures.
- 8 Fire hydrant locations shall conform to City of Phoenix Fire Department regulations.
- 9 A communications easement shall be included throughout The Cotton Center per The Cotton Center Utilities plan.

**J Nuisance Guidelines**

- 1 No nuisance shall be permitted to exist or operate upon any lot or site so as to be offensive or detrimental to any adjacent lot or site or neighboring property or to its occupants. A "nuisance" shall include, but is not limited to, any of the following conditions:
  - a Any use of the lot or site which emits dust, sweepings, dirt or cinders into the atmosphere, or discharges liquid, solid wastes or other harmful matter into any stream, river or other waterway which, in the opinion of the Approving Agent may adversely affect the health, safety or comfort of persons within the area or the intended use of their property. (No waste nor any substance or materials of any kind shall be discharged into any public sewer serving the subject property or any part thereof in violation of any regulation of any public body having jurisdiction over such public sewer);
  - b The escape or discharge of any fumes, odors, gasses, vapors, steam, acids or other substance into the atmosphere which discharge, in the opinion of the Approving Agent, may be detrimental to the health, safety or welfare of any person or may interfere with the comfort of persons within the area, or which may be harmful to property or vegetation;

- c The radiation or discharge of intense glare or heat or atomic, electro-magnetic, microwave, ultrasonic, laser or other radiation. Any operation producing intense glare or heat or such other radiation shall be performed only within an enclosed or screened area and then only in such manner that the glare, heat or radiation omitted will not be discernible from any point exterior to the site or lot upon which the operation is conducted;
- d The emission of excessive noise outside the plane of any lot.

**K Permitted Uses**

Uses permitted within The Cotton Center are those allowed by the City of Phoenix Zoning Ordinance.

- 1 Commercial areas shall correspond to provisions of Section 623, Commercial C-2 District, Intermediate Commercial.
- 2 Business Park and Commerce Park areas shall correspond to Section 626, Commerce Park District (Business Park Option and General Commerce Park Option).

All other applicable provisions of the City of Phoenix Zoning Ordinance shall apply.

## IV ARCHITECTURAL GUIDELINES

### A Architectural Character

The purpose of the Architectural Guidelines is to produce orderly and aesthetically pleasing developments of high quality architecture in harmony with the environment, consistent with the theme of The Cotton Center, and consistent with the intended use of the building(s).

Design compatibility should be provided throughout the site. An overall continuity can be achieved by use of similar or compatible materials, colors and textures. Within developments comprised of two or more structures, heights, massing and form articulation should be of similar character. The compatibility of project designs with natural and urban surroundings should also be considered.

The architectural character envisioned for The Cotton Center is Southwest Contemporary. This character is enhanced by strong responses to climactic conditions, promoting an architecture which focuses on qualities of surface, light and shadow, massing and building form, and space as it relates to the outdoor environment.

The architecture of The Cotton Center will be characterized by effective use of building massing, intersecting wall planes, punched openings, deep recesses, shade, natural materials, and play of light and shadow.

Buildings should be responsive to the Arizona climate and indigenous landscape. Buildings should incorporate sun shading and other devices to effectively eliminate excessive solar gain. Colors used on buildings should complement the desert landscape.

### B Commerce and Business Park - Office/Light Industrial

#### I Site Development

Projects must recognize building setbacks (see Section III,B). No structures of any kind shall be placed within the easements. The following elements will be excluded from the setback restrictions:

- a Structures below and covered by the ground.
- b Stairways, walls, driveways and curbing.
- c Planters, fences or hedges not to exceed 4'-0" in height.
- d Landscaping easements for access and utility rights-of-way.

Projects must recognize Lot Coverage as established by Section 626, Commerce Park District, of the City of Phoenix Zoning Ordinance. When the entire project is completed, the maximum floor area ratio of the entire project shall not exceed 0.3, excluding any hotel(s).

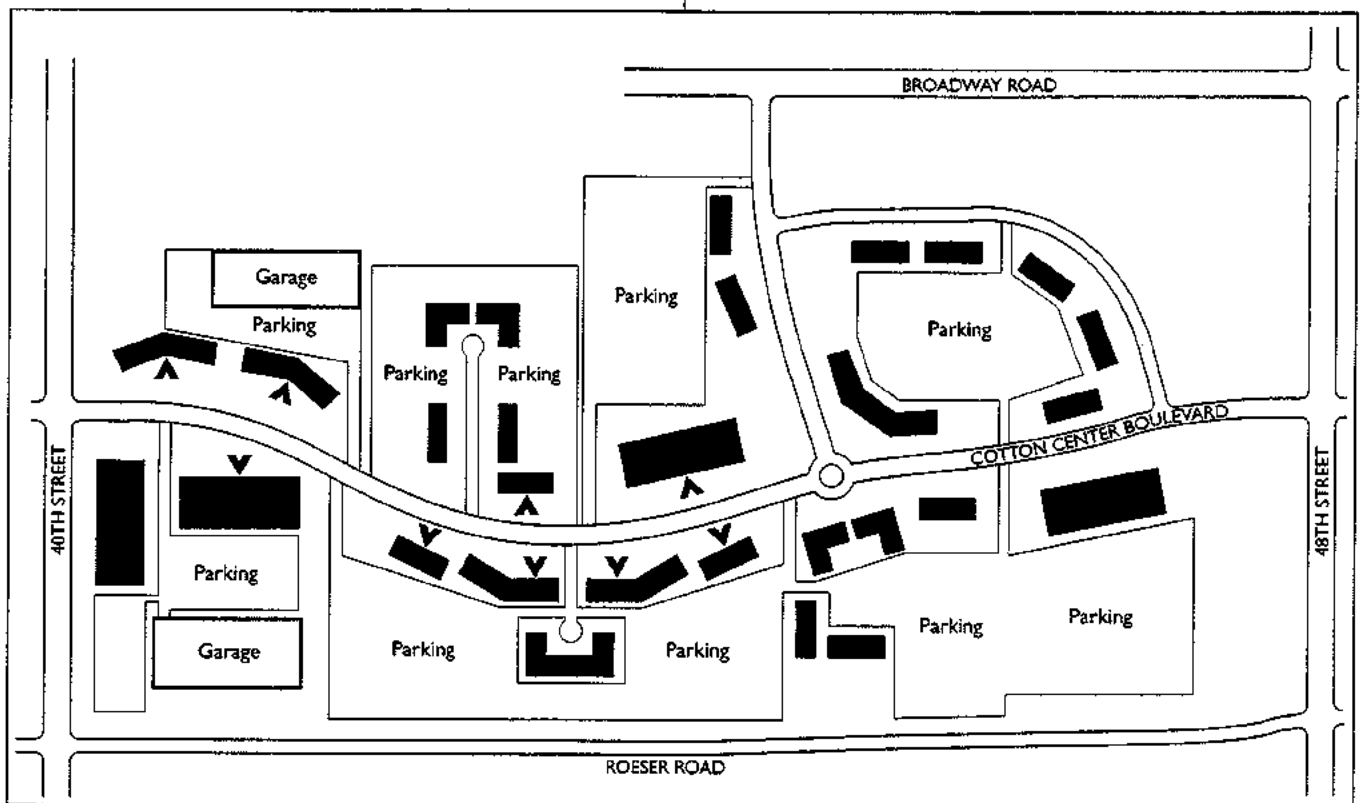


Fig. 4.1 Building placement along Cotton Center Boulevard.

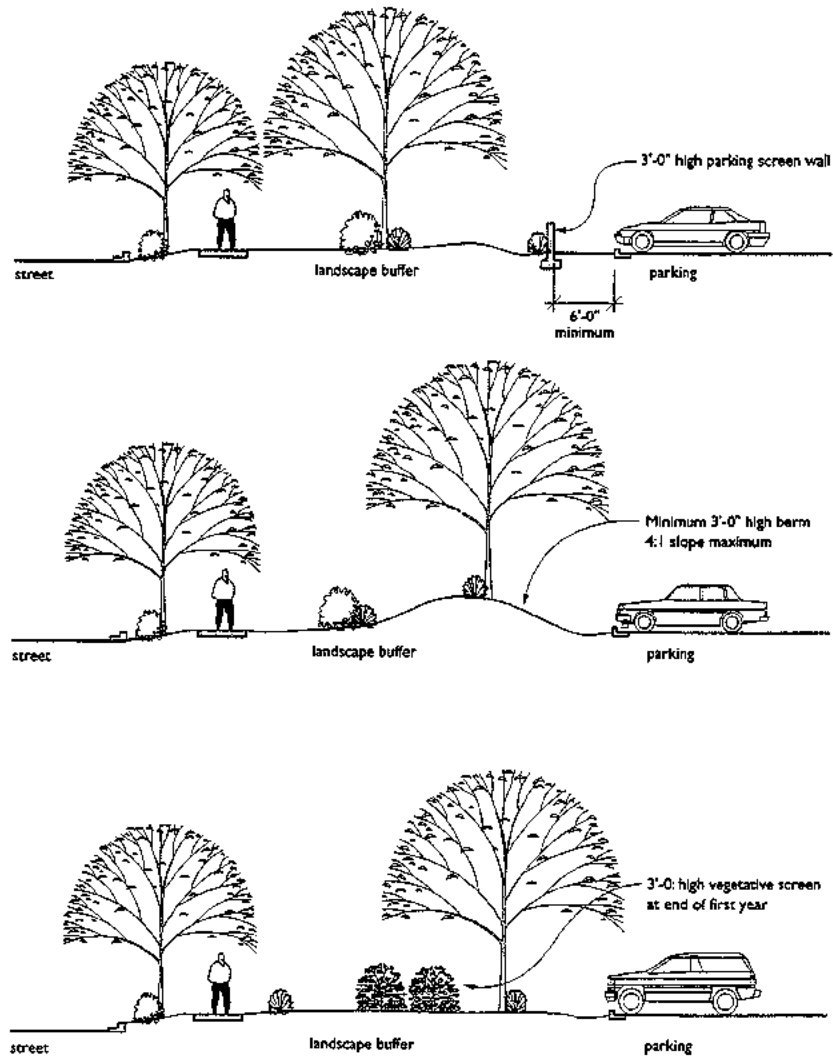
To create a central spatial enclosure, projects immediately adjacent to internal public streets shall be positioned so that the main building fronts Cotton Center Boulevard (Fig. 4.1, page IV-1).

Tenant parking lots shall be placed to the rear of the building, not visible to Cotton Center Boulevard, while visitor parking and drop-off areas may occur at the front of the building. Any parking located at the front of a building should be screened with a three (3) foot high wall or berm and landscape combination (Fig 4.2).

Projects which subdivide parcels shall orient buildings facing the street with parking located behind the buildings (Fig. 4.3, page IV-3).

Building massing, wall placement, street connections and open space/entry way features should be designed in a manner that encourages view corridors through the project from the neighborhood to the south.

Site placement in regards to other projects on the site should be given consideration. Where possible, cluster buildings on adjacent parcels (Fig. 4.4, page IV-3).



All parking areas visible from a public street shall be screened from view by a combination of berming, landscaping (not less than 3'-0" in height at the end of the first year), or low walls (3'-0") in height. If a low wall is used to achieve screening, its impact must be buffered through placement of shrubs adjacent to it, or through the use of graded land forms that reduce its apparent height when viewed from the street.

Fig. 4.2 Screened parking.

## 2 Height

Projects must recognize maximum building height requirements as set forth by the City of Phoenix Zoning Ordinance.

No commerce park building within one hundred (100) feet of Broadway Road shall exceed a height of thirty six (36) feet including parapet.

## 3 Facade Articulation

Building construction and design shall be used to create a structure with an attractive perimeter on all sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations of the structure. Any accessory buildings and enclosures, whether attached to or detached from the main building, shall be of similar compatible design and materials.

Buildings should reflect human scale and be sensitive to the scale of the streetscape of adjacent developments. A clear architectural expression of the building base is recommended. This can be achieved through the following:

- a Individual window expression (Fig 4.5).
- b Special treatment of pedestrian entrances (Fig. 4.6, page IV-4).
- c Application of high-quality building materials at the ground plane and around building entrances.
- d Shaded walkways (Fig. 4.7, page IV-4).

## 4 Building Materials

Exterior materials shall conform to and be compatible with the external design of neighboring and adjacent structures and the overall design as described throughout these guidelines. The approval of exterior materials, including type, color, texture and durability and the event of use of any single material or combination of materials shall be solely at the discretion of the Approving Agent. Applicants are encouraged to contact the Approving Agent early in the architectural design stages of their project to further discuss or propose appropriate exterior materials.

Materials should include natural stone (sandstone, limestone, unpolished granite, etc.), precast concrete, cast-in-place concrete, brick, colored and textured CMU or an exterior insulation finish system (EIFS). If EIFS is used, a wainscot of higher quality material should be incorporated for aesthetic and durability purposes. Wood shall not be used.

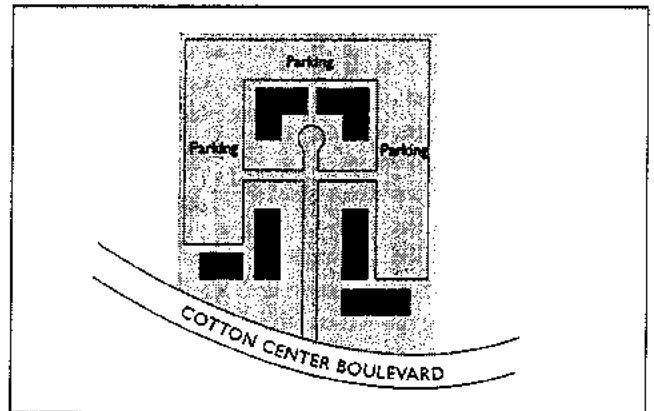


Fig. 4.3 Parcel subdivision.

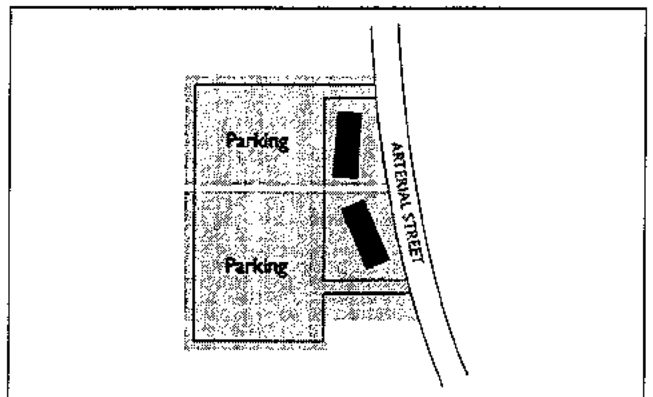


Fig. 4.4 Cluster buildings at adjacent parcels.

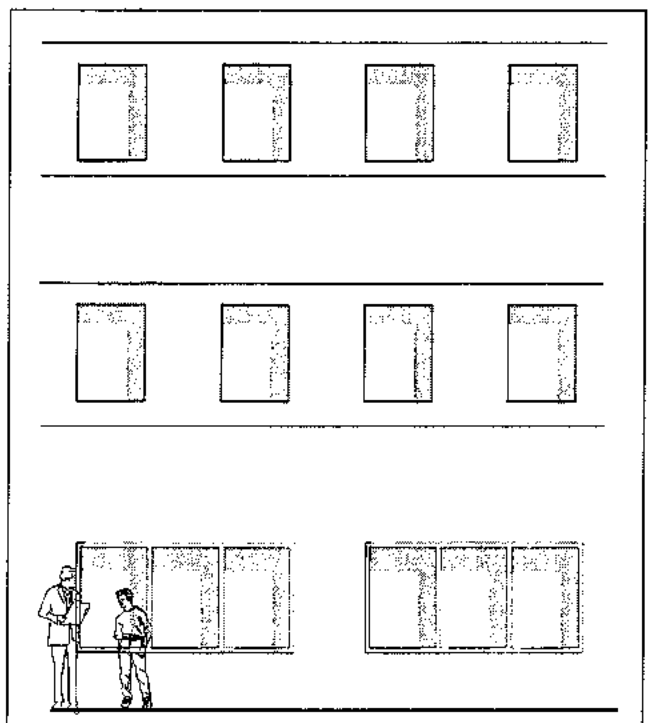


Fig. 4.5 Individual window expression.

Building details should reflect the clean contemporary order of the architecture. Detailing materials may include architectural metals and ceramic tile.

Building elevations should be designed so that the use of glass should not constitute more than 60% of the total surface area of the combined elevations. Minimize the use of glass on the east and west facing elevations unless adequate sun protection is provided. Glass shall not exceed 20% reflectivity.

Roof parapets and mechanical penthouse screens shall use the same building material theme. Exposed pitched or sloped roofs shall be standing seam metal with a factory applied finish.

Utilize colors and textures appropriate to the natural flora, climate, and character of the site. All colors and textures will be subject to approval by the Approving Agent.

Exterior stairs serving exit doors shall be compatible in design and materials to the entire project.

Roof scuppers shall not be permitted. All roof drainage shall utilize interior roof drain leaders.

Parking canopies and other grade level shading elements shall be compatible in design, materials, and color to the entire project. These elements will be subject to review by the Approving Agent.

## 5 Building Entrances

In a single building project, the building entrance should face the primary internal public street. Multi-building projects should be considered a complex and have one unifying entry facing the primary internal public street (Fig. 4.8, page IV-5).

Main building entrances should be deeply recessed and defined with special architectural features such as trellises, overhangs, and upgraded materials (Fig. 4.9, page IV-6). The ground plane should be upgraded and articulated.

Building entries should be easily viewed from streets and parking lots and/or structures. The entry point should be appropriate in scale to the respective building proportions.

Create comfort for pedestrians by developing protected pathways between parking lots or structures and office buildings entrances.

## 6 Roof Overhang and Canopies

Pitched or sloped roofs shall be standing seam metal with a factory-applied finish. Roof pitch shall not exceed a 4:12. Roof overhangs (extension of the major roof

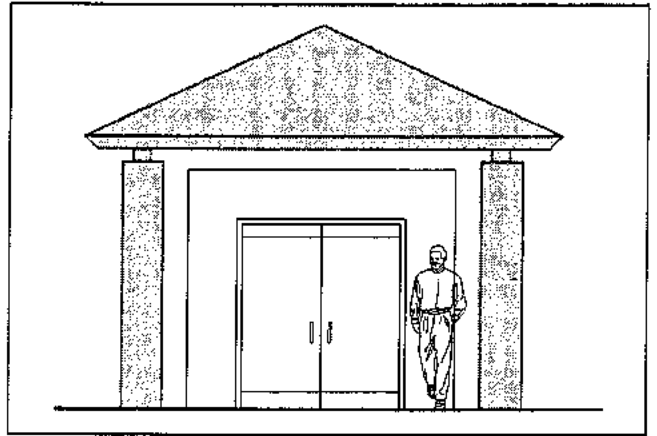


Fig. 4.6 Pedestrian entrance.

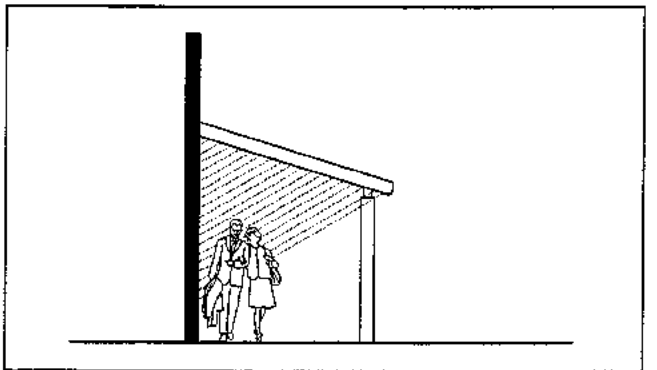


Fig. 4.7 Shaded walkways.

element beyond the exterior wall) and canopies (roofed areas not a part of the major roof area) shall comply with setbacks and setback encroachments of the City of Phoenix Zoning Ordinance.

Roof overhangs and canopies shall be of consistent design and materials for the building. Overhang and canopy dimensions shall be proportioned to the height above finish grade and length of the overhang. Overhangs and canopies shall not end at a building corner unless terminated by the adjoining wall or similar building element.

## 7 Rooftop Treatment

To further ensure the preservation of views, proposed rooftop surfaces, equipment and accessories shall be reviewed and approved by the Approving Agent.

The roof surface materials, texture and reflectivity shall be reviewed considering their effects on the views of other Cotton Center sites and structures.

Rooftop mechanical equipment, vents and ducts, shall be screened, covered and installed in a manner which prevents obstruction or distraction of views of other

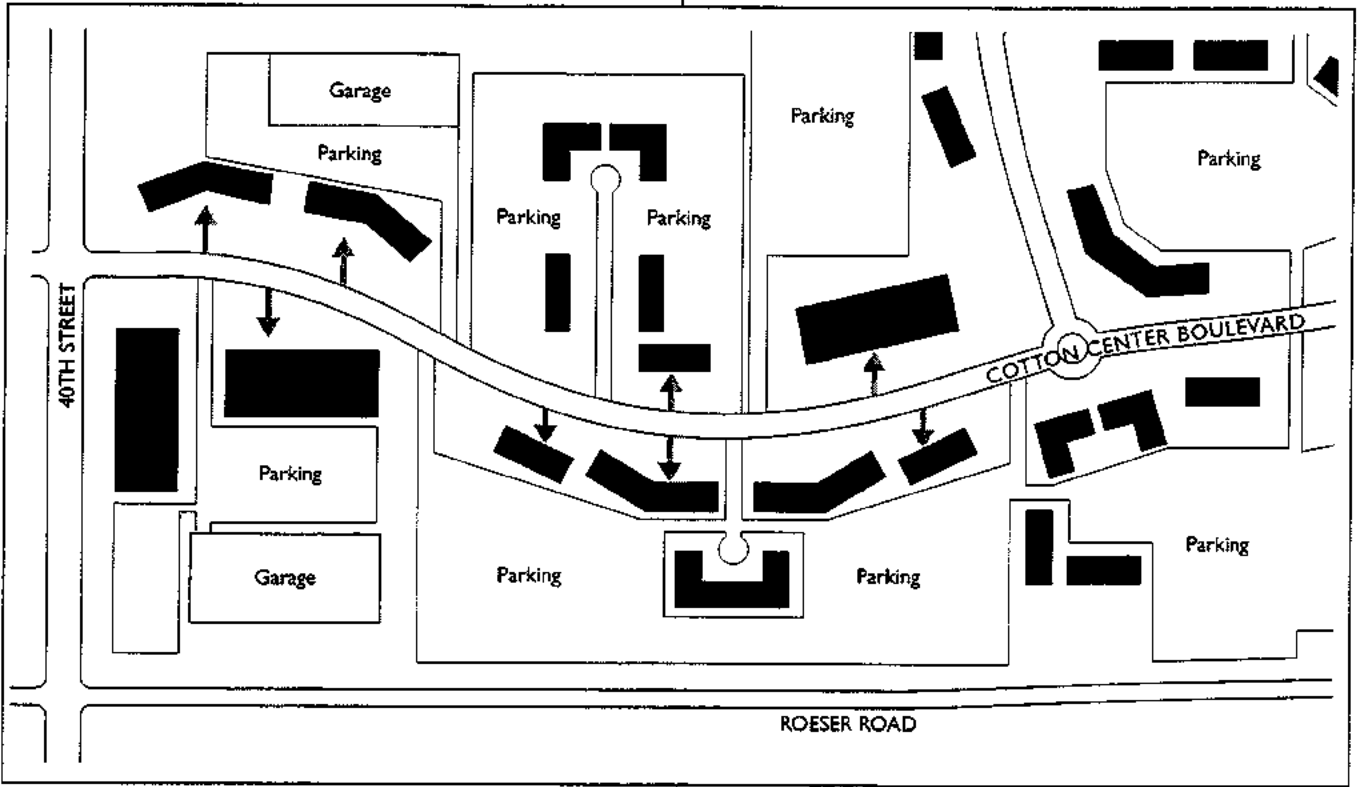


Fig. 4.8 Building entrances.

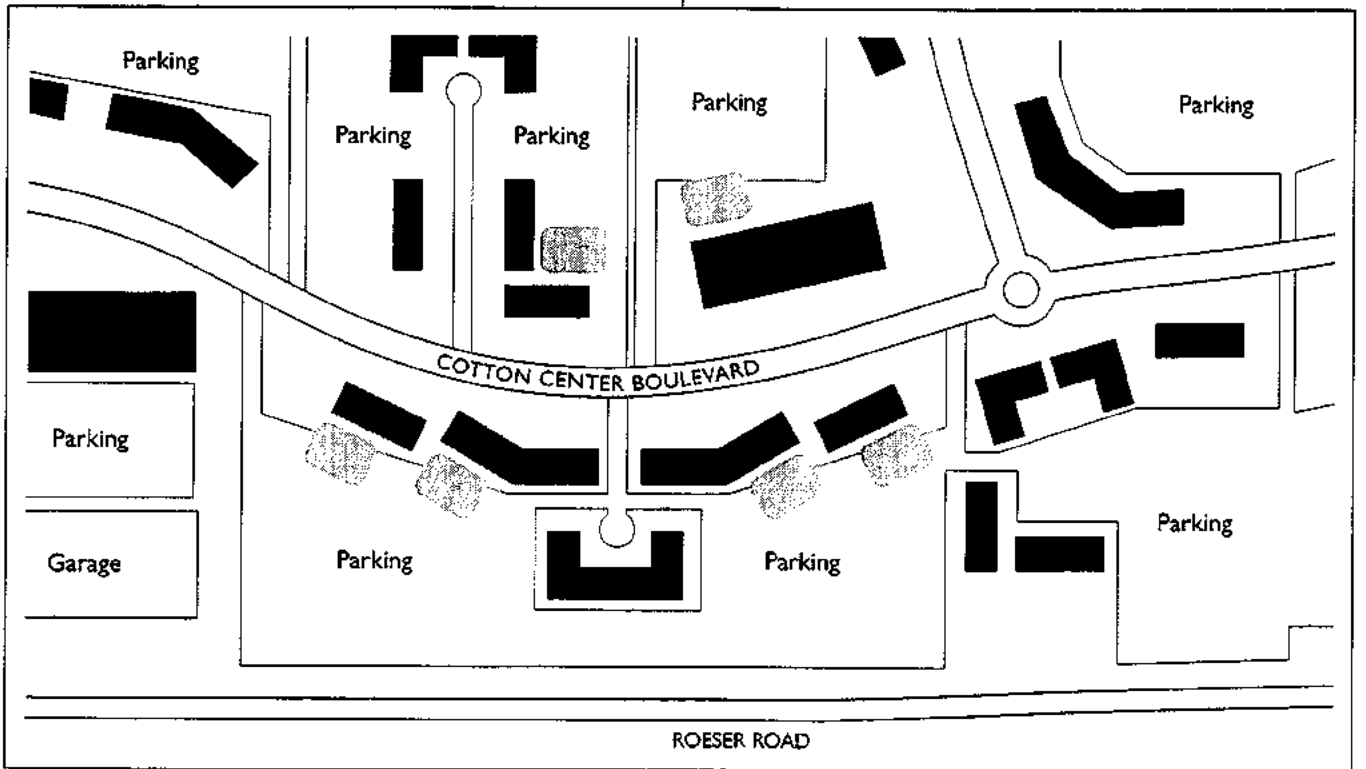


Fig. 4.10 Loading dock and service locations.



Cotton Center sites and structures. Such screening shall be an integral part of the building design.

Rooftop solar collectors, skylights and other potentially reflective rooftop building elements shall be designed and installed in a manner which prevents reflected glare and obstruction of views of other Cotton Center sites and structures.

Rooftop radio, TV, and microwave, and other antennas and towers are prohibited unless specifically approved by the Approving Agent as to their height, location and architectural treatment.

#### 8 Service and Loading Dock Areas

Service trash, and loading areas should be located away from Cotton Center Boulevard, entry roads, and major pedestrian walkways (Fig. 4.10, page IV-5).

Service, trash, and loading areas should be screened with an eight (8) foot high solid wall and landscaping. The screen wall should be of the same materials, textures, and color of its adjacent building. A metal gate, painted to match the color of the building should be included with any trash enclosure or exposed loading dock (Fig. 4.11).

There shall be no truck loading zones, loading bays, trash pick-up areas or exposed mechanical equipment facing Broadway Road and if visible from Broadway Road they shall be screened.

#### 9 Energy Considerations

Building massing should be designed for climactic and solar conditions. The design of the massing of structures should consider shadow of neighboring buildings and open spaces as well as the preservation of sun access for passive and active solar design. Buildings should be oriented to maximize use of the sun for building energy efficiently. Buildings can also be sited to shade plaza areas to provide comfort zones for pedestrians.

Utilize natural daylight to reduce artificial lighting demands for office space (Fig. 4.12, page IV-7). This will reduce the energy required as well as reduce the heat generated by the artificial lights. Atriums, lightwells, and varied window treatments are encouraged (Fig. 4.13, page IV-7).

Active solar energy design features may be incorporated into buildings with written approval from the Approving Agent. Equipment must comply with screening and roof treatment standards where applicable.

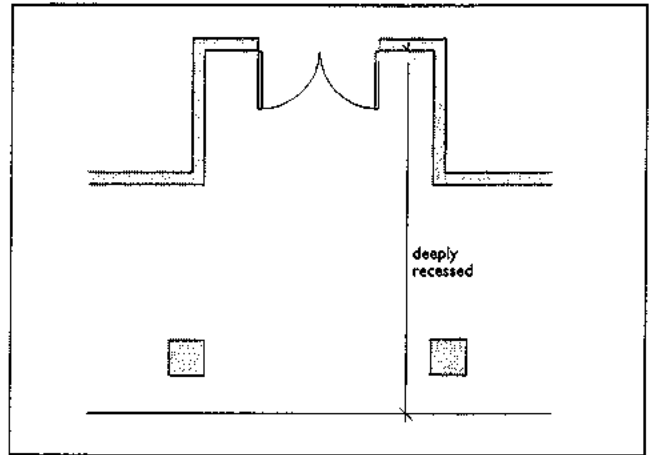


Fig. 4.9 Deeply recessed entry.

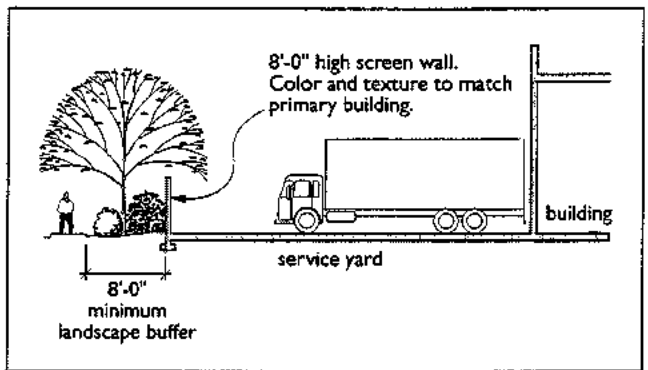


Fig. 4.11 Trash enclosures.

Consideration should be given to selecting building materials which are energy efficient.

#### 10 Building Identification and Signage

For all information on Building Identification and Signage, please see Section VI - Signage Guidelines.

### C Commercial C-2 District

#### I Site Development

Commercial pads are uses that stand apart from, and hence are not perceivable as, part of the main building complex. Pads may be developed as freestanding uses, such as a restaurant or a bank, or as a cluster of uses sharing common architectural detail and materials. All pads shall be designed to provide a landscape and architectural setting compatible with the larger complex.

Commercial pads must recognize building setbacks (see Section III,B). No structures of any kind shall be placed within the easements. The following elements will be excluded from the setback restrictions:

- a Structures below and covered by the ground.
- b Stairways, walls, driveways and curbing.

- c Planters, fences or hedges not to exceed 4'-0" in height.
- d Landscaping easements for access and utility rights-of-way.

Lot coverage shall not exceed fifty percent (50%) of the net lot area exclusive of the first six (6) feet of roof overhang, open carports, covered patios or covered walkways (as established by Section 623, Commercial C-2 District Intermediate Commercial, of the City of Phoenix Zoning Ordinance). When the entire project is completed, the maximum floor area ratio of the entire project shall not exceed 0.3, excluding any hotel(s).

Parking on a commercial street front should be minimized and where possible should be located behind or to the side of a building (Fig. 4.14). Parking located along a commercial street front where pedestrian traffic is desirable lessens the attractiveness of the area to pedestrians and compromises the safety of pedestrians along the street.

Where possible, cluster buildings on adjacent parcels (Fig. 4.15, page IV-8).

Where parking does occur in front of a building, a 3'-0" high wall or berm with landscaping combination shall be used (Fig. 4.2, page IV-2).

Where practical, integrate and provide vehicular and pedestrian connections from the adjacent office/ industrial uses.

## 2 Height

A maximum building height of two (2) stories not to exceed thirty (30) feet shall be permitted. Requests to exceed the height limit may be granted by the City Council for developments up to four (4) stories not to exceed fifty-six (56) feet (as established by Section 623, Commercial C-2 District Intermediate Commercial, of the City of Phoenix Zoning Ordinance).

## 3 Facade Articulation

Building construction and design shall be used to create a structure with an attractive perimeter on all sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations of the structure. Any accessory buildings and enclosures, whether attached to or detached from the main building, shall be of similar compatible design and materials.

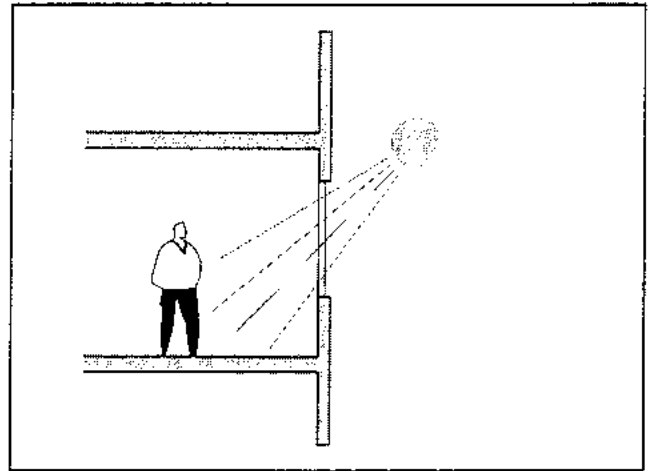


Fig. 4.12 Utilize natural daylight.

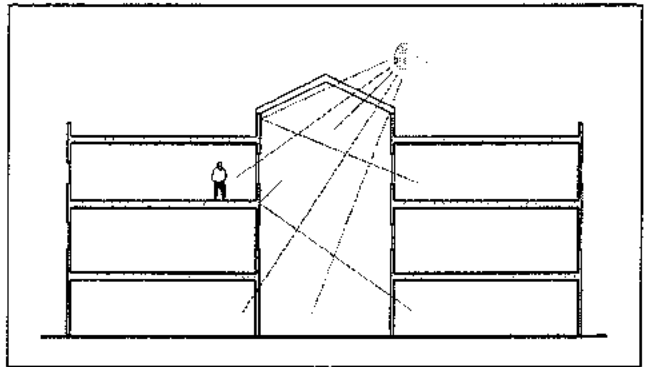


Fig. 4.13 Atrium

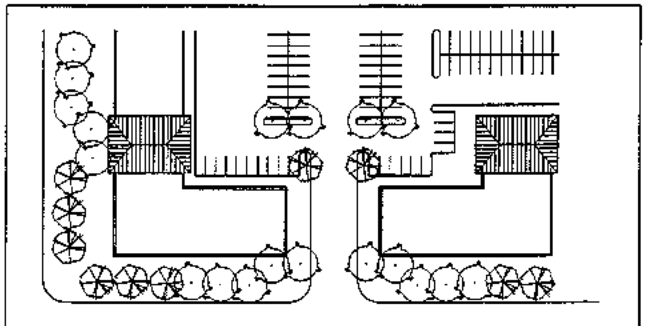


Fig. 4.14 Parking located behind the building is preferred.

- 4 Buildings should reflect human scale and be sensitive to the scale of the streetscape of adjacent developments. Create a sense of scale and spatial relationship to the pedestrian by providing:
  - a Recessed window areas (Fig. 4.16, page IV-8).
  - b Loggias and arcades (Fig. 4.17, page IV-8).
  - c Balconies on upper floors of buildings (Fig. 4.18, page IV-9).
  - d Strong horizontal plane distinguishing different levels of a building if the building is more than one story (Fig. 4.19, page IV-9).

## 5 Building Materials

Exterior materials shall conform to and be in harmony with the external design of neighboring and adjacent structures and the overall design as described throughout these guidelines. The approval of exterior materials, including type, color, texture and durability and the event of use of any single material or combination of materials shall be solely at the discretion of the Approving Agent. Applicants are encouraged to contact the Approving Agent early in the architectural design stages of their project to further discuss or propose appropriate exterior materials.

Exterior building materials in the Commercial C-2 District shall be the same as permitted for the Commerce and Business Park District. However, the following standards apply:

- a One and two-story buildings are strongly encouraged to apply a three (3) foot high wainscot at the base of the building of natural stone, brick, or colored and textured CMU. At the three (3) foot level, a horizontal plane must be expressed. The remainder of the building wall may be natural stone, brick, colored and textured CMU, EIFS, or glass.
- b Buildings taller than two-stories should utilize the building material guidelines set forth in the Commerce and Business Park District.

Building details should reflect the clean contemporary order of the architecture. Detailing materials may include architectural metals and ceramic tile.

Building elevations should be designed so that the use of glass does not exceed 60% of the total surface area of the combined elevations. Glass shall not exceed 20% reflectivity.

Roof parapets and mechanical penthouse screens shall use the same building material theme. Exposed pitched roofs shall be metal with a factory applied finish.

Utilize colors and textures appropriate to the natural flora, climate, and character of the site. All colors and textures will be subject to approval by the Approving Agent.

Exterior stairs serving exit doors shall be compatible in design and materials to the entire project.

Roof scuppers shall not be permitted. All roof drainage shall utilize interior roof drain leaders.

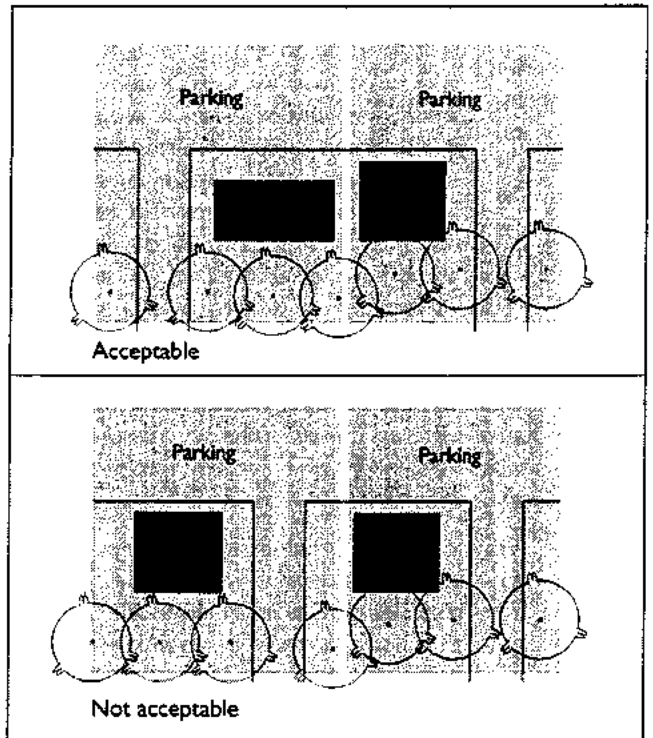


Fig. 4.15 Cluster buildings on adjacent parcels.

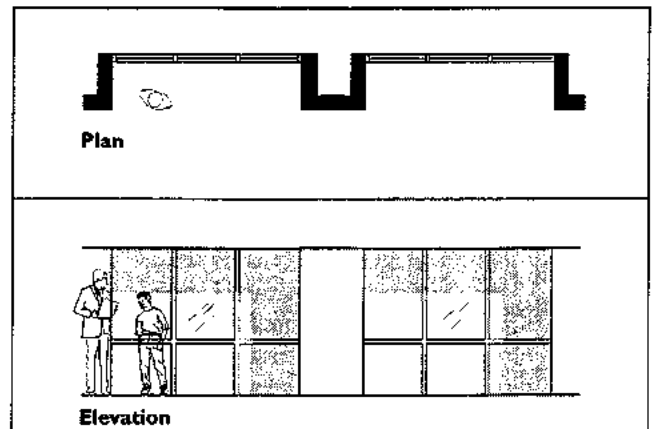


Fig. 4.16 Recessed window areas.

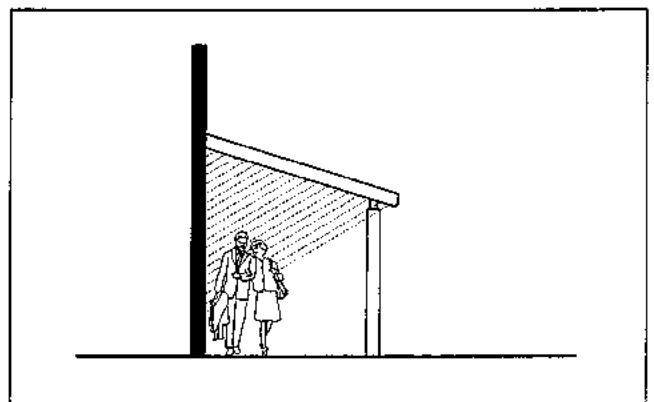


Fig. 4.17 Loggias and arcades.

Parking canopies and other grade level shading elements shall be compatible in design and materials to the entire project.

**6 Building Entrances**

Create well defined entries to buildings on commercial pads. These should be easily viewed from streets and parking lots and/or structures. The entry point should be appropriate in scale to the respective building proportions.

Consideration should be given to entry orientation to encourage use from the adjacent buildings.

**7 Roof Overhang and Canopies**

Pitched or sloped roofs shall be standing seam metal with a factory-applied finish. Roof pitch shall not exceed 4:12. Roof overhangs (extension of the major roof element beyond the exterior wall) and canopies (roofed areas not a part of the major roof area) shall comply with setbacks and setback encroachments of the City of Phoenix Zoning Ordinance.

Roof overhangs and canopies shall be consistent in design and materials as the primary building. Overhang and canopy dimensions shall be proportioned to the height above finish grade and length of the overhang. Overhangs and canopies shall not end at a building corner unless terminated by the adjoining wall or similar building element.

Commercial pad tenants will be allowed to use identifying frame and fabric awnings on their building. The awning placement and design must respect the design guidelines and be fully integrated into the building massing design.

**8 Rooftop Treatment**

To further ensure the preservation of views, proposed rooftop surfaces, equipment and accessories shall be reviewed and approved by the Approving Agent.

The roof surface materials, texture and reflectivity shall be reviewed considering their effects on the views of other Cotton Center sites and structures.

Rooftop mechanical equipment, vents and ducts, shall be screened, covered and installed in a manner which prevents obstruction or distraction of views of other Cotton Center sites and structures. Such screening shall be an integral part of the building design.

Rooftop solar collectors, skylights and other potentially reflective rooftop building elements shall be designed and installed in a manner which prevents reflected glare and obstruction of views of other Cotton Center sites and structures.

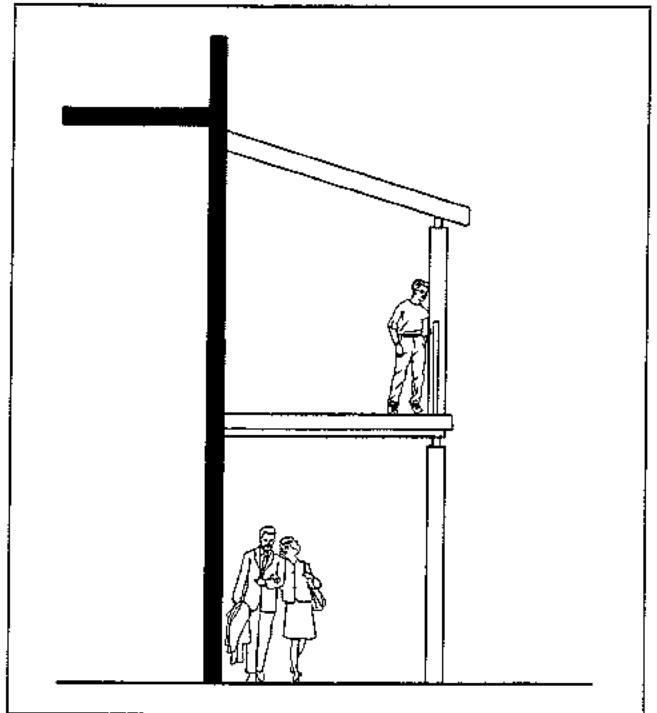


Fig. 4.18 Balconies at the second floor.

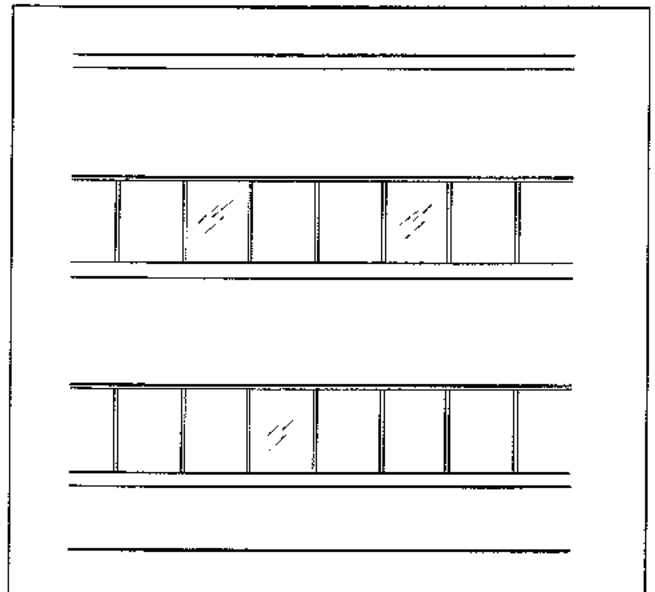


Fig. 4.19 Strong horizontal planes.

Rooftop radio, TV, and microwave, and other antennas and towers are prohibited unless specifically approved by the Approving Agent as to their height, location and architectural treatment.

**9 Service, Loading Dock, and Garage Areas**

Service, trash, and loading areas should be located away from Cotton Center Boulevard, entry driveways, and major pedestrian walkways.

Service, trash, and loading areas should be screened with a eight (8) foot high solid wall, gate and landscaping (Fig. 4.11, page IV-6). See Section III,D for Fencing Guidelines.

Repair garage bays, car wash entrances/exits, and service station bays must be screened from street view (Fig. 4.20).

There shall be no truck loading zones, loading bays, trash pick-up areas, or exposed equipment facing Broadway Road and if visible from Broadway Road they shall be screened.

#### 10 Drive-Through on Pads

All drive-up facilities, including drive-through lanes and queuing areas shall be adequately screened from street view by building orientation, or by a landscaped berm and retaining wall measuring four (4) feet high from grade of the driving lane (Fig. 4.21).

One (1) drive-through lane per pad is permissible. When the tenant may be a bank or credit union, up to three (3) drive-through lanes may be used. Drive-through lanes may not conflict with parking maneuvering areas, main-stream vehicular movement, or itself create an unsafe traffic situation (Fig. 4.22).

Drive-through facilities for any restaurant fronting on Broadway Road are prohibited.

#### 11 Energy Considerations

Building massing should be designed for climactic and solar conditions. The design of the massing of structures should consider shadow of neighboring buildings and open spaces as well as the preservation of sun access for passive and active solar design. Buildings should be oriented to maximize use of the sun for building energy efficiently. Buildings can also be sited to shade plaza areas to provide comfort zones for pedestrians.

Active solar energy design features may be incorporated into buildings with written approval from the Approving Agent. Equipment must comply with screening and roof treatment standards where applicable.

Consideration should be given to selecting building materials which are energy efficient.

#### 12 Building Identification and Signage

For all information on Building Identification and Signage, please see Section VI - Signage Guidelines.

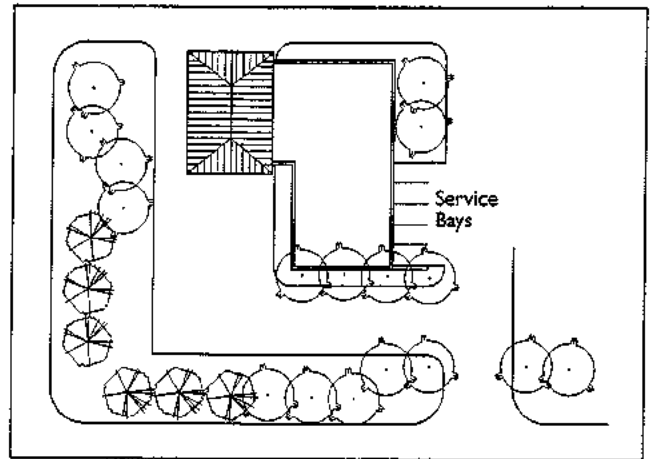


Fig. 4.20 Service bays shall be screened from street view.

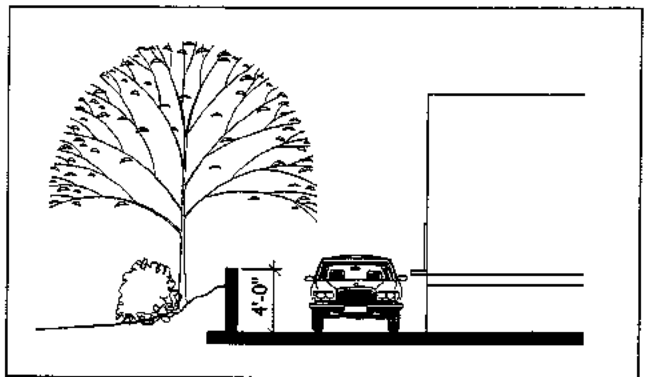


Fig. 4.21 Drive-through with 4'-0" high screen wall.

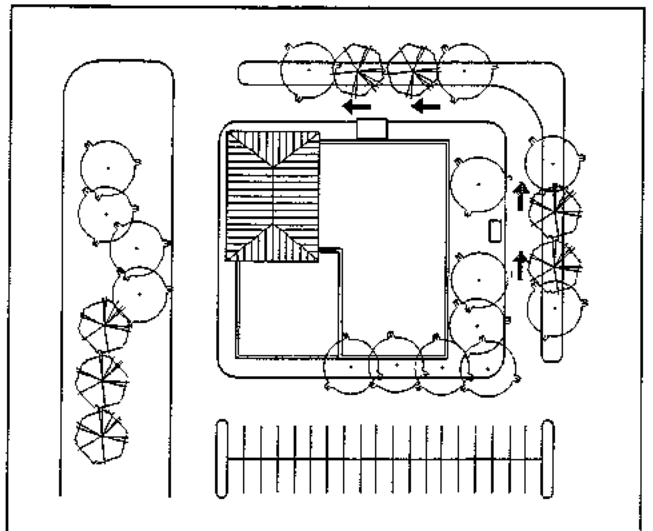


Fig. 4.22 Drive-through circulation.

## D Parking Structures

### 1 Site Development

Minimize the visual impact of parking structures by locating them behind office buildings (Fig. 4.23).

### 2 Height

Minimize the presence of parking structures by limiting the height to two (2) levels above grade.

### 3 Facade Articulation

Expression of both columns and spandrel panels should be articulated on the facade (Fig. 4.24).

Garage entrances should be easily identifiable (Fig. 4.25).

Consider the pedestrian when articulating the base of the parking structure. This can be achieved by:

- a Special column and spandrel treatment.
- b Clearly marked pedestrian entrances.
- c Landscape screening (See Fig. 4.26).
- d Shaded walkways.

### 4 Building Materials

Building materials and details used in parking structures should be compatible to those used in the office building/commercial use it is serving.

Materials should include natural stone, precast concrete, cast-in-place concrete, brick, or colored and textured CMU.

Building details should reflect the clean contemporary order of the architecture. Detailing materials may include architectural metals and ceramic tile.

Shade canopies provided on the roof of a parking structure shall be metal with a factory applied finish. Design of the canopies must be approved by the Approving Agent.

### 5 Building Entrances

Create clearly visible automobile entrances from Cotton Center Boulevard.

### 6 Building Identification and Signage

For all information on Building Identification and Signage, please see Section VI - Signage Guidelines.

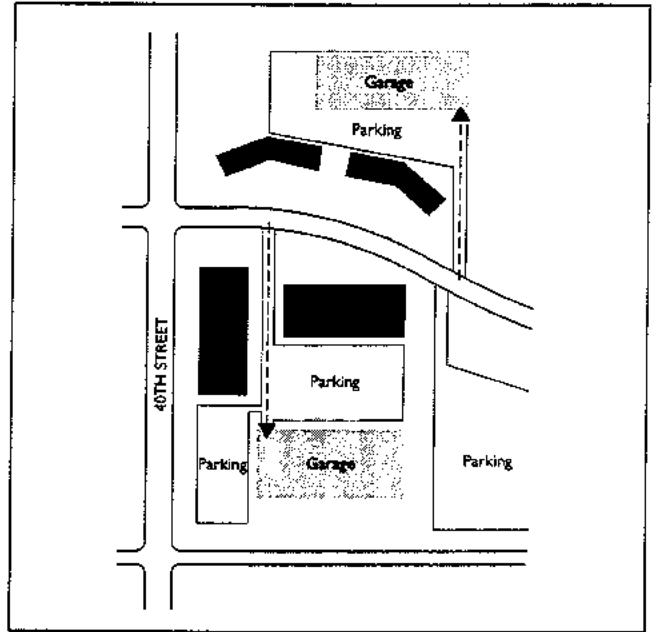


Fig. 4.23 Parking structure location.

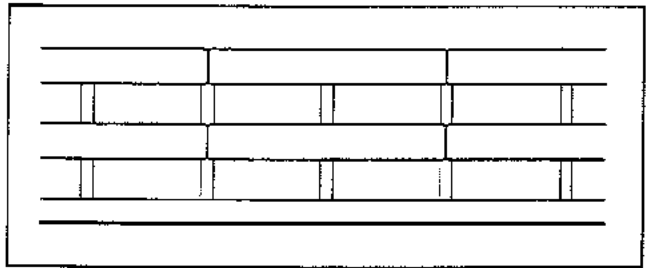


Fig. 4.24 Parking garage articulation.

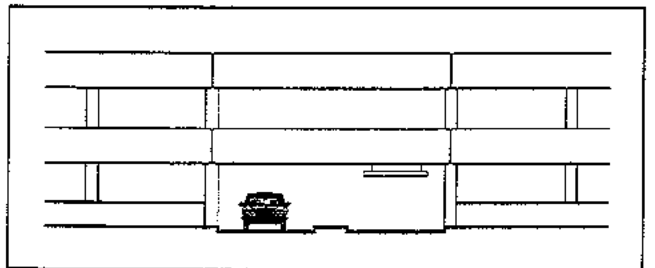


Fig. 4.25 Articulate auto entrances.

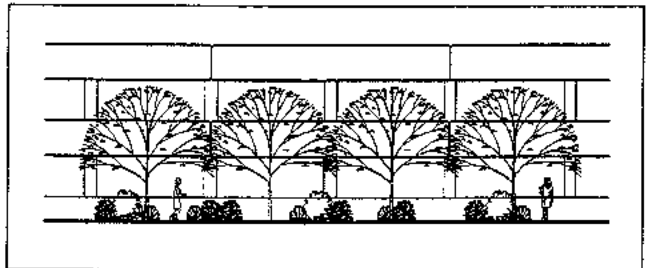


Fig. 4.26 Pedestrian scale.

## V LANDSCAPE GUIDELINES

### A Overview and General Requirements

The Landscape Guidelines are intended to promote and recall a park like character of the established easement areas.

Low water use plants with interesting shapes, forms, textures, and seasonal/year round color will be placed within the rights-of-ways and landscape easements. Broad canopy trees will provide a shaded pedestrian environment, supplemented by flowing accent trees all in a formal planting scheme.

The selection and placement of the plant material is based on the theme of agrarian community that is moving into an age of technology. At each major entry (3) a large date palm bosque with turf is proposed with flowering shrubs and ground covers installed in formal rows.

Formal and informal flowing shrubs and ground covers will be used throughout the site along all of the rights-of-ways. Additionally, desert plant and boulders will be incorporated into the ultimate regional character of the site. Turf adjacent to the rights-of-way will be considered on an individual basis by the Approving Agent.

Parking lots are to be designed to minimize the adverse visual and environmental impact of large parking areas. The Applicant must submit final landscape plans to the Approving Agent for approval prior to installation. Exhibit A lists approved plant materials. Variances from the approved plant list (Exhibit A) may be approved by the Approving Agent. Applicants shall be responsible for the installation and maintenance of all landscaping within site landscape areas. All areas not paved or built upon must be landscaped with either trees, irrigated turf, ground cover, shrub beds, or decomposed granite. Use of water conserving plants is required.

Site Landscape Areas include all exterior elements within an individual parcel excluding the landscape easement and the building footprint area. Also, the landscape area shall include parking lot layouts and landscaping, site lighting, regulatory and directional signage and service area screening.

A combination of trees, shrubs, vines and berms and walls should be used to aid in eye level screening of service areas and should be planted at a size to achieve this function within a three year period from the date of installation. A minimum of twenty percent of the total parcel shall be landscaped. The proportion of organic material (shrubs and ground cover) shall cover forty to sixty percent of their ultimate size within one year of growth (Fig. 5.1a).

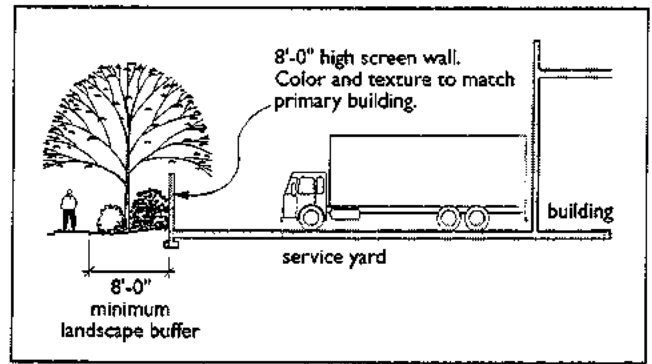


Fig. 5.1a Section through loading/service area

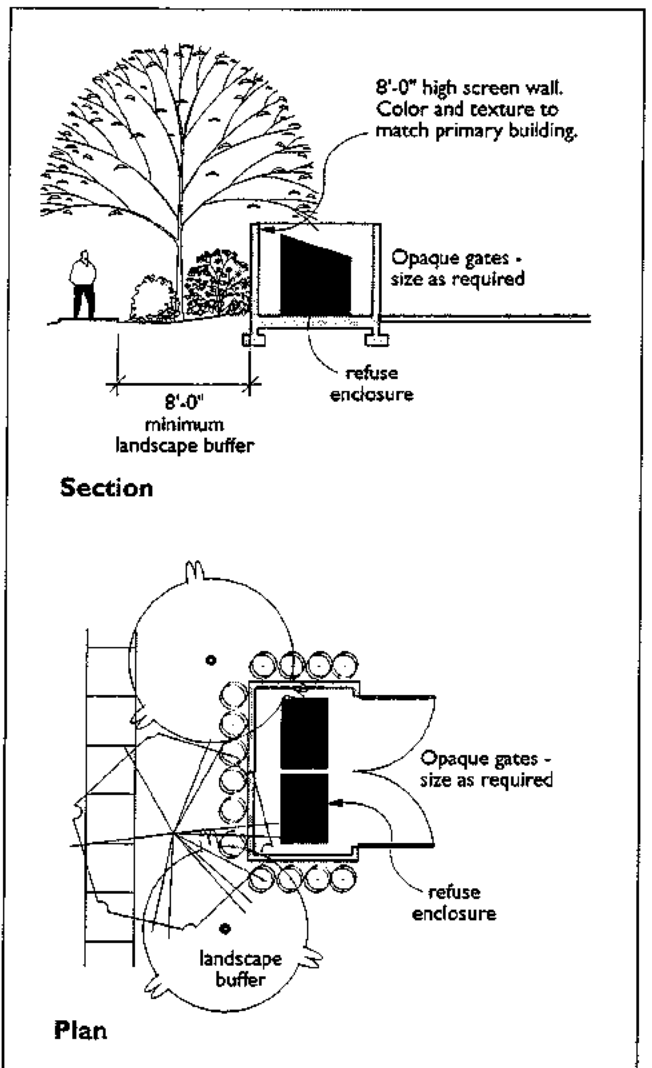


Fig. 5.1b Refuse enclosure screening.

## B Landscape Easements

Initial landscaping within the landscape easements shall be installed by the owners of The Cotton Center and maintained by an association pursuant to the CC&R's. Applicant's landscape plan shall harmonize with the landscaping installed within the landscape easement. Applicant shall be responsible to repair and restore all landscape materials within the landscape easements damaged or destroyed during the construction process by the Applicant or Applicant's, contractors or licensees.

## C Frontage Areas

Frontage areas are those areas existing between the building improvements and streets. In these areas, the ground cover shall be a combination of shrub beds and decomposed granite. Trees in frontage areas shall be planted at an average density of one tree for every twenty (20) lineal feet of frontage area. All planting in the frontage zone should include 70% mature species (24" box or larger). Turf will be considered on an individual basis by the Approving Agent.

Landscape materials in the frontage areas shall be used to screen parked vehicles and maintain an attractive streetscape throughout the property. Trees shall be planted at a minimum of one tree per four parking stalls. Such trees shall be a minimum of 24" box and of single species. Parking shall be screened from view from adjacent streets. Parking canopies in frontage areas must be carefully and aesthetically integrated into the project. The Approving Agent, in its sole discretion, reserve the right to reject parking canopies in the frontage area (Fig. 5.2, page V-3).

## D Non-Frontage Areas

Non-frontage areas consist of rear and side yards which do not abut a street. In these areas, an 10'-0" minimum planting strip is to be provided continuously along and adjacent to all interior property lines except when no setback is required site drainage shall be directed away from the 10' area. A maximum slope of 4:1 is allowed within the 10' planting area. A 1'-0" minimum flat transition shall be provided at the top and bottom of all slopes within non-frontage areas. Plant materials in non-frontage areas shall be selected from the list in Exhibit A.

Where two properties adjoin, there shall be a 20' area created by two 10' landscape planting areas on each side of a property line except where no setback is required.

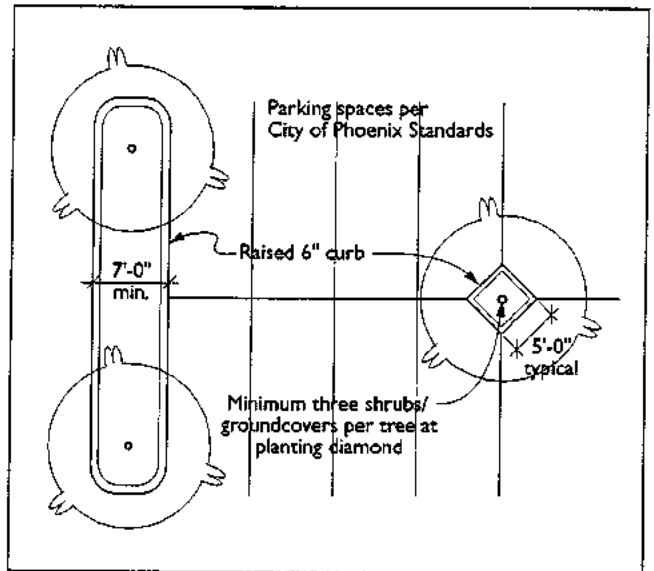


Fig. 5.3 Planting islands and diamonds in parking areas.

Landscaping adjacent to a common access drive shall be coordinated so that both sides of the drive feature the same plant materials and include small to medium shrubs and trees on each side to screen adjacent parking.

Non-frontage area parking shall be designed to promote a shading effect for cars. Parking canopies shall be less than twelve (12) cars in length and shall provide a parking island at the end of each canopy. If no parking canopies are provided, trees shall be planted to maximize the shading effect for cars and shall be a minimum quantity of two (2) trees per seven (7) parking stalls (Fig. 5.3).

Plant materials shall be installed as per the City of Phoenix standard landscape details and attached plant list for trees, shrubs and ground covers (See Exhibit A).

## E Irrigation

All irrigation systems are to be below ground, fully automated systems in compliance with all applicable building code requirements. Use of water conserving systems such as drip irrigation for shrub and tree plantings is encouraged. All backflow control devices are to be located or screened so that they are not visible from public streets or parking lots. All turf spray head areas, drives and walks are to be "trimmed" to minimize spray onto adjacent pavement.

Landscape irrigation and domestic water services to each site shall be separately metered. Each irrigation service point of connection shall have a backflow prevention device installed in accordance with City of Phoenix requirements.



## F Parcel Maintenance

Undeveloped areas, held in reserve for future building or pavement development will require an approved dust control method. These areas, however, can at a minimum be seeded with a drought resistant turf mix to hold down weed growth and to minimize wind and water erosion. The use of temporary on-grade, irrigation systems are encouraged. If seeding takes place, all public rights-of-way and required setback areas must be landscaped within two years of the purchase of a property, whether or not all phases of development are complete.

All areas of each parcel not used for structures, walkways, paved driveways, parking or storage areas shall be at all times maintained by a professional landscape contractor in a fully and well kept landscaped condition and according to maintenance specifications to be provided by the Applicant (Fig. 5.4, page V-4).

The owner of each parcel shall at all times properly maintain and keep the entire parcel, including all improvements, in a safe, clean and sightly condition, in a good state of repair and shall comply in all respects with all governmental, health, fire

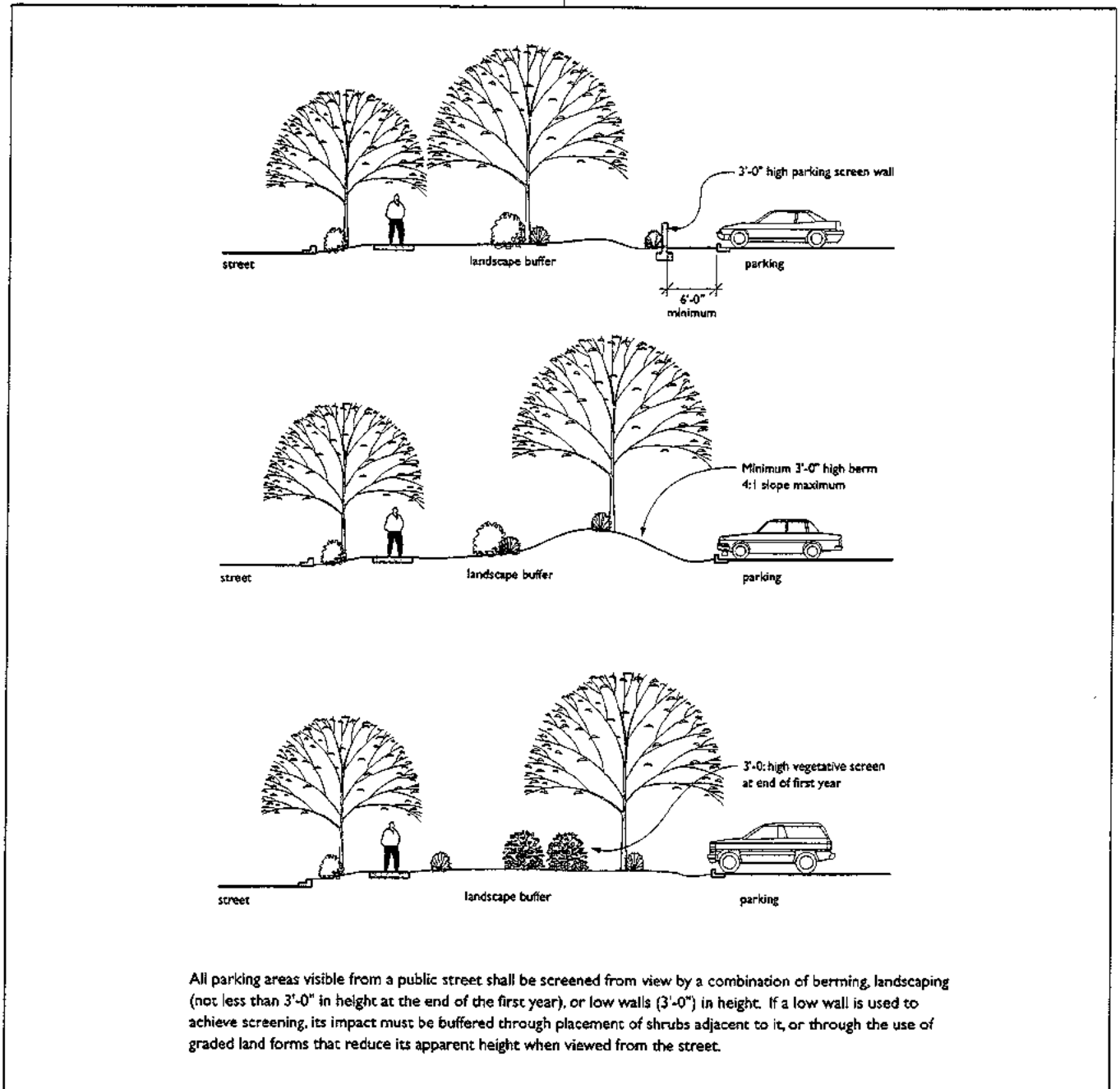


Fig. 5.2 Parking screening methods.

and police requirements and regulations. Such maintenance procedures include, but are not limited to: weeding, fertilizing, replacement of dead or poorly performing landscape material, mowing, pruning, upkeep of light fixtures, and general on-site trash removal.

The owner of each parcel shall, at his own expense, remove any rubbish of any character whatsoever which may accumulate on such parcel.

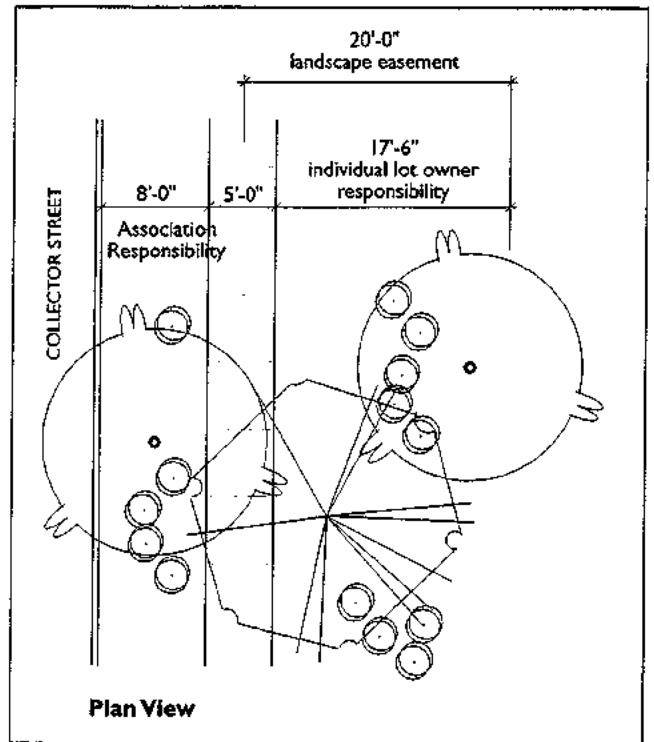


Fig. 5.4 Association vs. Individual lot owner landscape responsibility

## VI SIGNAGE GUIDELINES

### A Signage and Wayfinding

The purpose of the Signage Guidelines is to establish a coordinated graphic system that provides the standards for business identification and wayfinding for The Cotton Center.

- 1 The Signage Guidelines play an important role in the overall theme of The Cotton Center master plan. It creates and promotes the identity of the project, while informing and directing users within the master plan and its individual parcels. Consistency of design, materials, size, placement, and lighting to all signage is essential to preserving the success of The Cotton Center's site development.
- 2 Parcel Owners and Developers shall submit a comprehensive sign plan complying with The Cotton Center Design Guidelines, and will be approved by the Approving Agent. Applicants are encouraged to engage a professional signage consultant and/or fabricator to assist in the preparation of the required comprehensive sign plan. The consultant/fabricator should be thoroughly familiar with the City of Phoenix Sign Ordinance and the strict standards established by that Ordinance, and are aware of the Americans with Disabilities Act (ADA) guidelines.
- 3 The objectives of the Signage Guidelines are:
  - a To establish a coordinated environmental graphics program that provides the design standards for business identification and wayfinding in a distinctive and aesthetically pleasing manner.
  - b To allow individual signage for business and commercial identification based on the degree of occupancy in each facility/parcel.
  - c To prohibit the use of signs for advertising of any kind including, but not limited to, advertising of products, services, or job openings.
  - d To provide sufficient informational, directional and traffic control signs for navigation ease and proper circulation.
  - e To permit temporary signage on the project for the purpose of identifying a future occupant and/or a new facility being built.
  - f To comply with the City of Phoenix Sign Ordinance and ADA.

The Signage Guidelines is a broad outline for wayfinding in The Cotton Center. The Signage Guidelines are categorized in two parts, based on the purposes of the project: Business/Light Industrial and Commercial. There are four major types of signs employed in both categories: Identification, Directional, Vehicular Control, and Temporary.

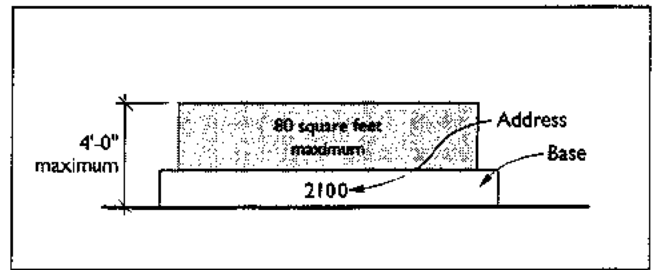


Fig. 6.1 Primary identification sign.

Any other type of sign will be considered site furniture and requires a request for variance prior to approval. The following defines the function, location, graphic, and basic construction criteria for each sign type and may vary depending on site use.

### B Business / Light Industrial Uses

#### I Identification Signage

Identification signs are used for the identification of buildings and/or owner/tenants. The basic form is designed to harmonize with the natural environment and the variety of architectural styles within The Cotton Center. There are two ways to achieve owner/tenant identification, with freestanding identification and building-mounted identification signs.

- a Freestanding Business Identification Signs - consist of two types of signs: Primary Identification and Secondary Identification.
- b Primary Identification Sign (Fig. 6.1)
  - i A freestanding primary identification sign shall identify the building/project within the parcel only.
  - ii A multiple-use parcel is allowed one primary identification sign within the first three hundred (300) feet of frontage, and one additional primary identification sign per additional full three hundred (300) of frontage.
  - iii A single-use parcel, with between one hundred (100) feet and three hundred (300) feet of frontage, is allowed one primary identification sign.
  - iv A single-use parcel owner, with more than three hundred (300) feet of frontage, is allowed the same number of signs and sizes as a multiple-use parcel with the same frontage (Section VI,B-1c-ii).
  - v Information on the sign shall be limited to the name of the building/project/user and address number.

- vi Overall dimensions must not exceed 4'-0" in height (including the base) and eighty (80) square feet in sign area (excluding the base).
- c Secondary Identification Sign (Fig. 6.2)
  - i A freestanding secondary identification sign shall identify the building/project and/or list the tenant name(s) within the parcel.
  - ii A multiple-use parcel is allowed one secondary identification sign per one hundred fifty (150) feet of frontage. The number of secondary identification signs shall be reduced to the number of primary identification signs on the same frontage of the multiple-use parcel.
  - iii Information on the sign shall be limited to a total of four (4) tenant names and/or the name of the building/project. The building address number shall not appear on this sign.
  - iv Overall dimensions must not exceed 10'-0" in height (including the base) and eighty (80) square feet in sign area (excluding the base).
- d Provided by the parcel owner.
- e The address number must appear on all the Primary Identification signs. The numerals shall be a minimum of six inches in height, but shall not exceed six (6) square feet in area. The address number is excluded from the calculation of the total sign area and will not be counted as an item of information.
- f Materials, typography, color, and illumination shall be approved by the Approving Agent. The basic design of the sign should complement the architecture of the identified building, as well as integrate with The Cotton Center environment.
- g Freestanding identification signs may be illuminated internally to individual letters and/or symbols, or illuminated externally with ground fixtures. All illuminated signs shall have a concealed light source, exposed neon is not allowed. Illuminated box signs (Fig. 6.3) and raceway signs are not allowed. No changing messages, flashing or moving lights will be permitted. No sign illumination shall cast a glare visible from any street or access drive.
- h Freestanding identification signs must be located within twenty (20) feet of fronting street and the access drive, but shall not exceed 4'-0" in height when located in the first ten (10) feet adjacent to access drive closest to the fronting street.
- i Ground plane landscape treatment must appear around sign base.

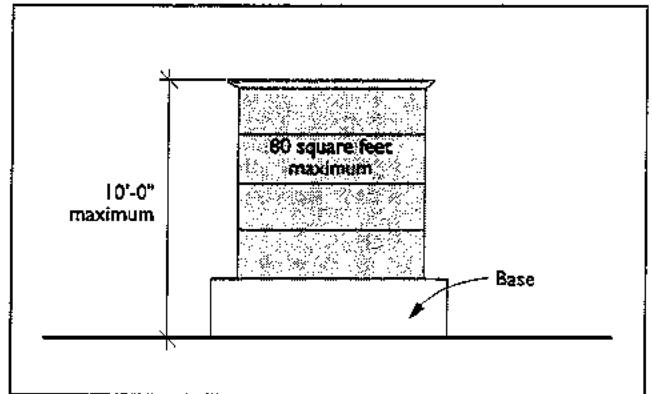


Fig. 6.2 Secondary identification sign.

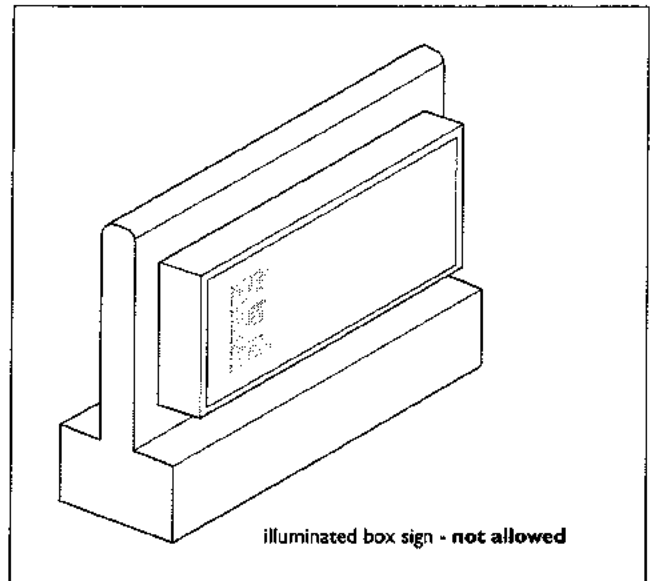


Fig. 6.3 Identification sign not allowed.

- 2 Building-Mounted Business Identification Signs
  - a Provided by the parcel owner or tenant.
  - b The placement of signs of individual cut-out letters on buildings is permitted only with the express approval of the Approving Agent.
  - c Building-Mounted Business Identification signs shall be limited to the display of the name and/or representative symbol of the tenant(s) occupying the building.
  - d No more than three (3) tenant name signs shall be displayed on the building. Messages and advertising, of any kind, is not permitted.
  - e Overall dimensions must not exceed 4'-0" in height and twenty-four (24) square feet in sign area.
  - f All building-mounted business identification signs must consist of individual cut-out letters and/or symbols (Fig. 6.4a, page VI-3). Illuminated box signs (Fig. 6.4b, page VI-3) and raceway signs are not

allowed (Fig. 6.4c). No sign will extend above the parapet of any building, nor will the sign be closer to the roofline than twelve (12) feet.

- g** Materials, typography, color, and illumination shall be approved by the Approving Agent and should complement, not compete with, the architecture of the identified building.
- h** Building-mounted identification signs may be illuminated internally to individual letters and/or symbols; external illumination is not allowed. All illuminated signs shall have a concealed light source; exposed neon is not allowed. No changing messages, flashing or moving lights will be permitted. No sign illumination shall cast a glare visible from any street or access drive.
- i** Overall dimensions shall not exceed 4'-0" in height and 24 square feet in sign area (Fig. 6.5, page VI-4).

### 3 Directional Signage

Directional signs serve to guide vehicular and pedestrian traffic to specific destinations within the parcel. The basic design for all directional signs shall be consistent with the design of the Identification signs (Fig. 6.6, page VI-4). All signs must comply with City of Phoenix and ADA standards.

- a** Provided by the parcel owner.
- b** Freestanding directional signs are allowed to direct vehicular and pedestrian traffic through a parcel.
- c** No more than two directional signs are allowed per access driveway on the fronting street. An unlimited number of directional signs are allowed on the interior areas of the parcel.
- d** Overall dimensions must not exceed 3'-0" in height (including the base) and six (6) square feet in sign area (excluding the base).
- e** Directional signs shall have a maximum of two sides.
- f** Information placed on the directional signs shall only be for directional copy and arrows. Business identification shall be included only upon approval of a comprehensive sign plan for the parcel by the Approving Agent and City of Phoenix.
- g** Materials, typography, and color shall be approved by the Approving Agent. The basic design of the sign should complement the architecture of the identified building, coordinate with the design of the building identification signs, as well as integrate with The Cotton Center environment.
- h** Directional signs may be illuminated externally with ground fixtures, and internally only if necessary. Internally illuminated box signs are not allowed.

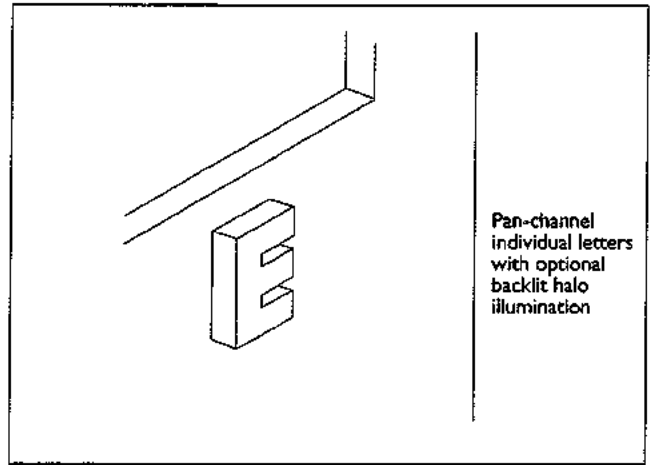


Fig. 6.4a Building mounted signage.

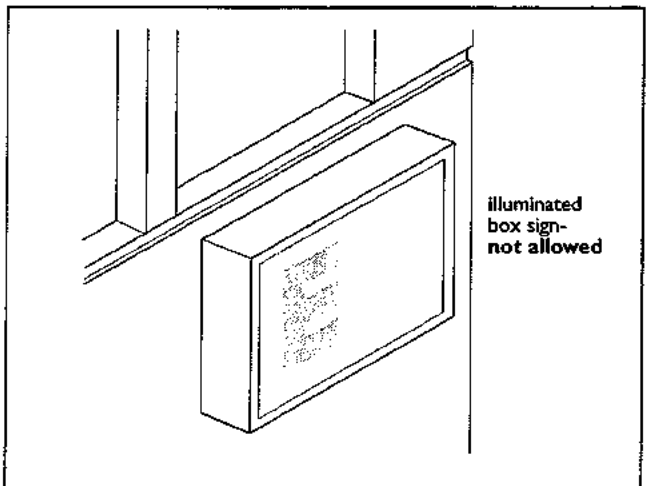


Fig. 6.4b Building mounted signage *not allowed*.

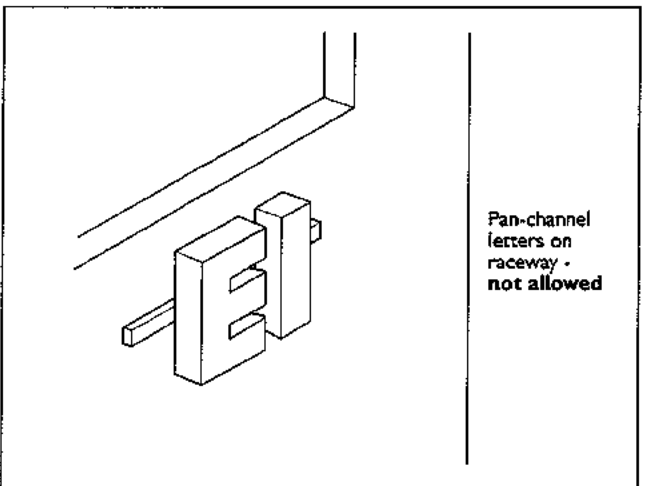


Fig. 6.4c Building mounted signage *not allowed*.

No changing messages, flashing or moving lights will be permitted.

- i Directional signs must meet City of Phoenix standards for face size, design, reflective qualities.
- j All directional signs shall be perpendicular to the flow of pedestrian or vehicular traffic. It shall be positioned so that there is clear line-of-sight well before the point at which direction must be changed or action taken. Directional signs shall be positioned to avoid confusing backgrounds, particularly when directed to vehicular traffic.

Programming the locations of directional signage is critical to its effectiveness. Each needs full analysis of vehicular and pedestrian traffic. Decision points must be identified and proper information must be displayed.

#### 4 Vehicular Control Signage

These signs allow for vehicular control throughout The Cotton Center. All control signage shall be carefully located to provide adequate sight lines from cars, buses, and trucks.

Vehicular control signs shall also meet the requirements of the U.S. Highway Transportation Standards.

#### 5 Temporary Leasing & Development Signage

Temporary Leasing signs can be used for available tenant space information (Fig. 6.7a).

Temporary Development signs are used for construction information, to be located within the boundaries of the corresponding project and must be removed immediately upon completion of construction (Fig. 6.7b, page VI-5).

Temporary signs shall be constructed of non-reflective materials. All temporary signs and sign locations must be approved by the Approving Agent and permitted by the City of Phoenix prior to installation.

- a Provided by through the Developer only.
- b Overall dimensions must not exceed 10'-0" in height and two hundred (200) square feet in sign area.
- c Materials, typography, information, and color shall be approved by the Approving Agent. The basic design guideline of the sign will be provided by the Developer.
- d Temporary Marketing/Development signs may be illuminated externally with ground fixtures.
- e Ground plane landscape treatment must appear around sign base.

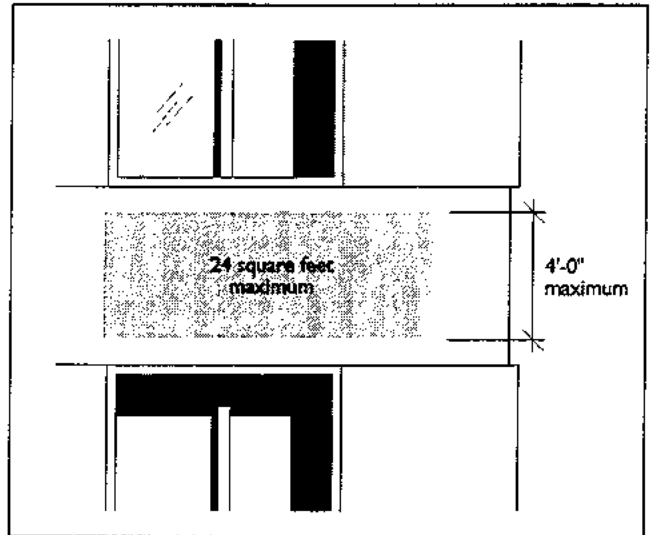


Fig. 6.5 Building mounted identification size and area limits

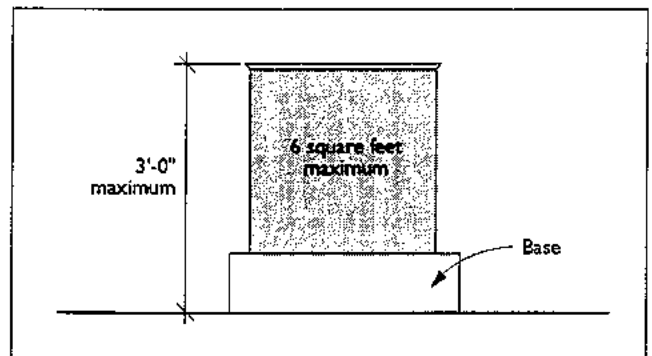


Fig. 6.6 Directional sign.

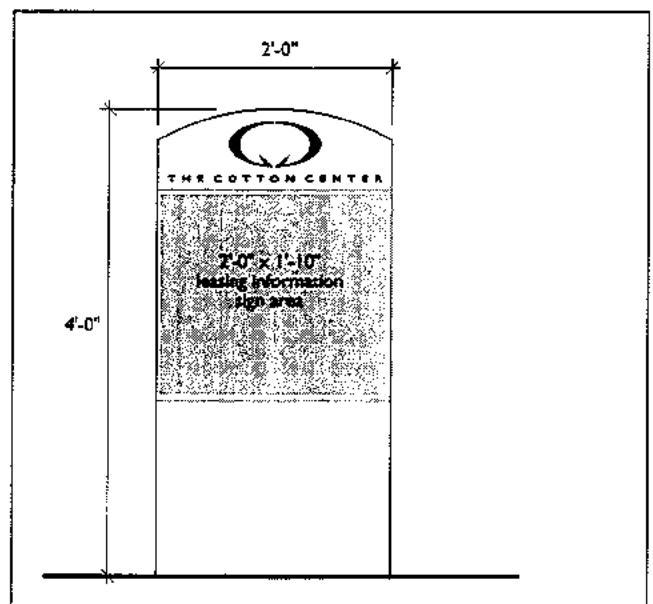


Fig. 6.7a Temporary leasing sign.

- f The number of temporary signs allowed per site is as follows:
  - i On lots of five (5) acres or less, one (1) temporary sign per lot is permitted at any one time;
  - ii On lots of more than five (5) acres but less than ten (10) acres, two (2) temporary signs; and
  - iii On lots of ten (10) acres or more, three (3) temporary signs are permitted.

A comprehensive sign plan, explaining all parcel identification, directional, vehicular control, and control signage with typical sketches and diagrams, shall be submitted as part of the preliminary plan submittal to the Approving Agent and to the City of Phoenix Planning Committee.

## C Commercial Uses

### I Identification Signage

Commercial Identification signs are used for the identification of commercial and retail owner/tenants. The basic form is designed to harmonize with the natural environment and the variety of architectural styles within The Cotton Center. There are two ways to achieve business/tenant identification: Freestanding Identification and Building-mounted Identification signs.

#### 2 Freestanding Commercial Identification Signs (Fig. 6.8)

- a Provided by the parcel owner or tenant.
- b A freestanding sign is allowed to identify the tenant name within the parcel. Only one (1) tenant name shall appear on the sign. Individual tenant identification shall be limited to building-mounted specifications (Section VI, C-2).
- c Overall dimensions must not exceed 4'-0" in height (including the base) and forty (40) square feet in sign area (excluding the base).
- d The address number must appear on all identification signs. The numerals shall be a minimum of six (6) inches in height, but shall not exceed six (6) square feet in area. The address number is excluded from the calculation of the total sign area and will not be counted as an item of information.
- e Materials, typography, color, and illumination shall be approved by the Approving Agent. The basic design of the sign shall match the standard of The Cotton Center project signage.
- f Freestanding Commercial Identification signs may be illuminated internally to individual letters

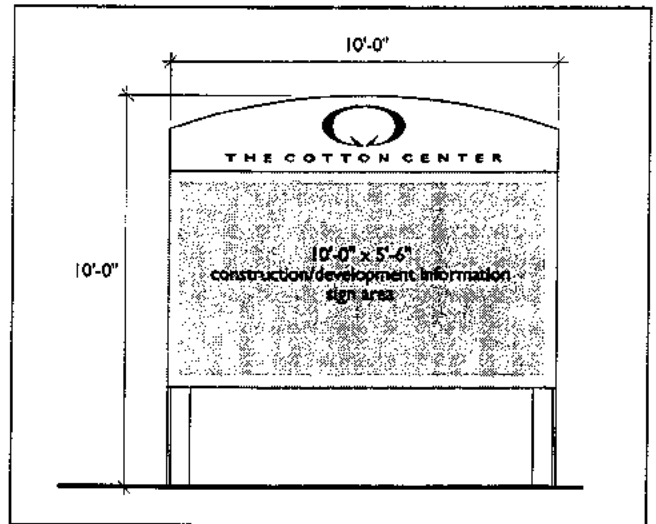


Fig. 6.7b Temporary development sign.

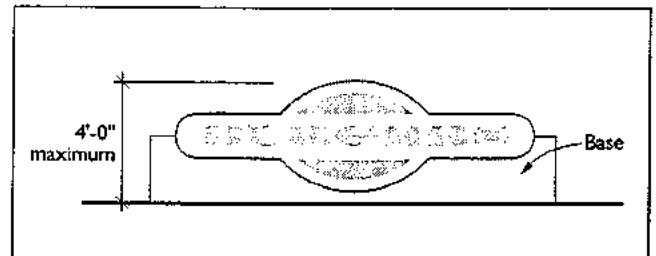


Fig. 6.8 Freestanding Commercial identification sign.

and/or symbols and/or molded acrylic faces, or illuminated externally with ground fixtures. All illuminated signs shall have a concealed light source and exposed neon may be used. Illuminated box signs (Fig. 6.3, VI-2) or raceway signs are not allowed. No changing messages, flashing or moving lights will be permitted. No sign illumination shall cast a glare visible from any street or access drive.

- g Freestanding Commercial Identification signs must be located within twenty (20) feet of fronting street and the access drive and integrate properly with the existing or proposed landscape. A sign shall be placed on the side of the access drive within the parcel being identified by that sign.
- h Ground plane landscape treatment must appear around sign base.

#### 3 Building-mounted Commercial Identification Signs (Fig. 6.9, page VI-6)

- a Provided by the parcel owner or tenant.
- b The placement of signs or individual cut-out letters on buildings is permitted upon the express approval of the Approving Agent.

- c Building-mounted Commercial Identification signs shall be limited to the display of the name and/or representative symbol of the tenant occupying the facility.
- d Overall dimensions must not exceed 6'-0" in height and twenty-four (24) square feet in sign area.
- e All Building-mounted Commercial Identification signs must consist of individual letters and/or symbols and/or molded acrylic faces. Illuminated box signs and raceway signs are not allowed. All signs shall not extend above the parapet of any building.
- f Materials, typography, color, and illumination shall be approved by the Approving Agent and should complement, not compete, with the architecture of the identified building.
- g Building-mounted Commercial Identification signs may be illuminated internally to individual letters and/or symbols, or illuminated indirectly. All illuminated signs shall have a concealed light source, but exposed neon is allowed. No changing messages, flashing or moving lights will be permitted. No sign illumination shall cast a glare visible from any street or access drive.

#### 4 Directional Signage

Directional signs serve to guide vehicular and pedestrian traffic to specific destinations within the parcel. The basic design for all directional signs shall be consistent with the design of the freestanding commercial identification signs. All signs must comply with City of Phoenix and ADA standards.

- a Provided by the parcel owner or tenant.
- b Freestanding directional signs are allowed to direct vehicular and pedestrian traffic through a parcel.
- c No more than two (2) directional signs per access driveway on the fronting street. An unlimited number of directional signs are allowed on the interior areas of the parcel.
- d Overall dimensions must not exceed 3'-0" in height (including the base) and six (6) square feet in sign area (excluding the base) (Fig. 6.6, page VI-4).
- e Directional signs shall have a maximum of two sides.
- f Information placed on the directional signs shall only be for directional copy and arrows. Tenant identification shall be included only upon approval of a comprehensive sign plan for the parcel.
- g Materials, typography, and color shall be approved by the Approving Agent. The basic design of the sign should complement the architecture of the identified building, coordinate with the design of

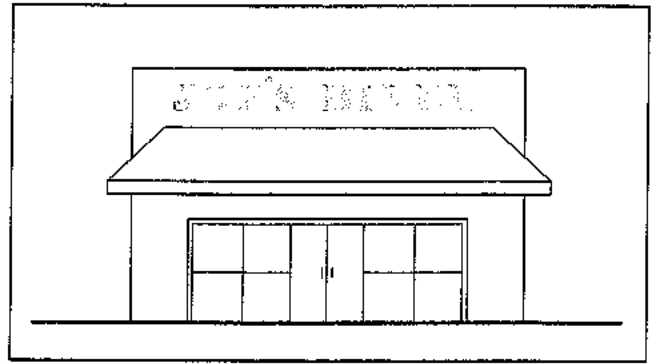


Fig. 6.9 Building mounted commercial identification sign.

the building identification signs, as well as integrate with The Cotton Center environment.

- h Directional signs may be illuminated externally with ground fixtures, and internally if necessary. Illuminated box signs and raceway signs are not allowed. No changing messages, flashing or moving lights will be permitted.
- i Directional signs must meet City of Phoenix standards for face size, design, reflective qualities.
- j All directional signs shall be perpendicular to the flow of pedestrian or vehicular traffic. It shall be positioned so that there is clear line-of-sight well before the point at which direction must be changed or action taken. Directional signs shall be positioned to avoid confusing backgrounds, particularly when directed to vehicular traffic.

Programming the locations of directional signage is critical to its effectiveness. Each needs full analysis of vehicular and pedestrian traffic. Decision points must be identified and proper information must be displayed.

#### 5 Vehicular Control Signage

There will be no Vehicular Control signs necessary on the commercial sites.

#### 6 Temporary Leasing & Development Signage

The same criteria for temporary signs for business use applies for commercial purposes. Please see Section VI, B-5 - Temporary Leasing & Development Signage.

#### 7 Other Types of Signs

Other types of signs would include any signs not mentioned in the Signage Guidelines. Any of these signs must be approved by the Approving Agent and permitted by the City of Phoenix.



- a Banners**
  - i** Banners are to be fastened to a solid structure securely.
  - ii** Banners shall not extend above the roofline or related structures.
  - iii** When positioned above, common use areas for the general public, banners shall be hung to allow for a minimum clearance of eight (8) feet above grade.
  - iv** Banners shall be vented to minimize windload issues from any direction to the proposed location.
- b Balloons, Flags, Guidons**  
Balloons, flags, guidons, and other similar advertising devices are not allowed, unless otherwise permitted by the Approving Agent and in accordance with the City of Phoenix Zoning Ordinance. However, the display of any one (1) flag, pennant, or insignia of any nation, state, county, or city shall be allowed.
- c Window Graphics**
  - i** The use of window graphics is allowed only on the ground floor of any building.
  - ii** The coverage of window graphics shall not exceed 30% of each window area. Window panels separated only by muntins or mullions shall be considered one (1) window area.
  - iii** Window graphics are not permitted on glass doors.
- d Service Station Marquee Signs**  
Service station marquee signs are freestanding, ground-mounted signs that display gas prices.
  - i** Provided by the parcel owner or tenant.
  - ii** A maximum of two (2) marquee signs are allowed per parcel.
  - iii** Overall dimensions must not exceed 4'-0" in height (including the base) and twenty-four (24) square feet in sign area (excluding the base).
  - iv** Business identification may be allowed on the marquee sign, but shall occupy only up to 25% of the total sign area.
  - v** Marquee signs shall have a maximum of two sides.
  - vi** Materials, typography, color, and information shall be approved by the Approving Agent. The basic design of the marquee sign should complement the architecture of the corresponding service station, coordinate with the design of the service station's identification

signs, as well as integrate with The Cotton Center environment.

- vii** Marquee signs may be illuminated internally, if necessary. All illuminated signs shall have a concealed light source, exposed neon is not allowed. No changing messages, flashing, or moving lights will be permitted. No sign illumination shall cast a glare visible from any street or access drive.
- viii** Marquee signs must be located within twenty (20) feet of fronting street and the access drive, and must not impede onto and visibility triangles.

## VII SITE LIGHTING GUIDELINES

### A Site Lighting

The purpose of the Site Lighting Guidelines is to provide for a safe, functional, visually attractive and coordinated site lighting system. Exterior lighting should be designed to enhance the atmosphere and safety in pedestrian zones, public parking, walkways and entrances. All lighting design should conform to state-of-the-art energy saving guidelines and the City of Phoenix Lighting and Dark Sky Ordinances.

### B Guidelines

The Site Lighting Guidelines are as follows:

- 1 Lights shall not be placed to cause glare or excessive light spillage on neighboring sites; intensity shall be no greater than required for vehicle and pedestrian safety.
- 2 All parking lot and driveway lighting should provide uniform illumination in compliance with the following minimum levels:
  - a Parking lots: 0.5 maintained foot-candle with 3:1 uniformity ratio (minimum to maximum)
  - b Driveways: 0.25 maintained foot-candle with 3:1 uniformity ratio (minimum to maximum)
- 3 Pole mounted lighting should follow these standards:
  - a Cotton Center Boulevard - Lighting in the right-of-way will conform to City of Phoenix standards.
  - b Entry drives and parking lots - Lighting shall be mounted at twenty (20) feet above finish grade (Fig. 7.1 and 7.2).
  - c Perimeter - Lighting fixtures which fall within 150' of a residential neighborhood shall be mounted at a height of fifteen (15) feet maximum above finish grade (Fig. 7.3, page VII-2).
  - d In the Commercial C-2 District, lighting shall be mounted at a height that compliments the primary building height, with a maximum mounting height of twenty (20) feet above finish grade.
- 4 Pedestrian area and walk lights on an individual project property are encouraged but not required. Lighting fixtures will conform to the standards set forth in these guidelines.
- 5 Accent illumination provided at key locations such as building entries, driveway entries, etc. is encouraged but not required. Lighting concepts must be approved by the Approving Agent.
- 6 Service area lighting shall be contained within the service yard boundaries and enclosure walls and shall not project above the fascia or roof line. No light

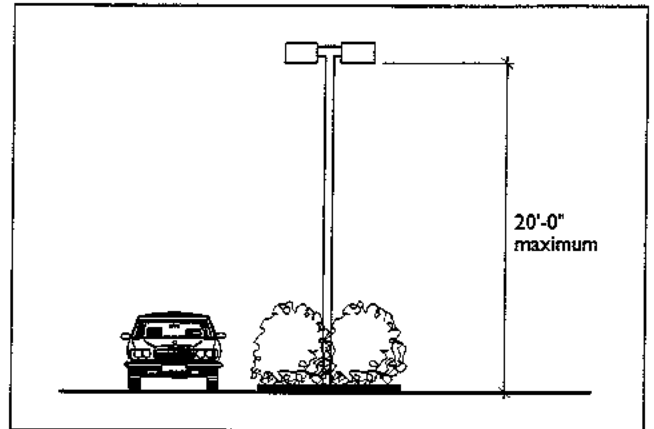


Fig. 7.1 Entry drive.

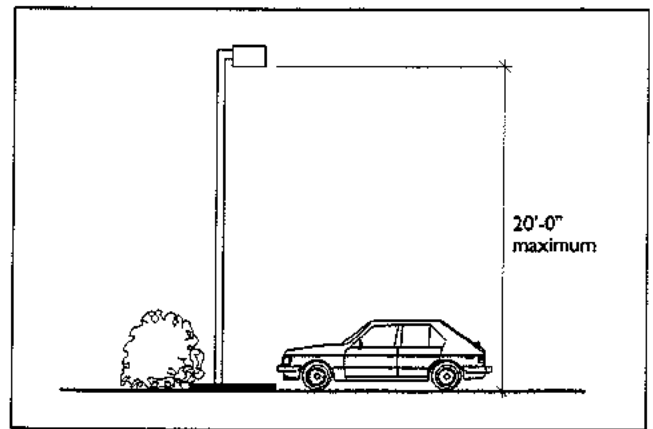


Fig. 7.2 Parking lot.

spillover should occur outside the service area. The light source shall be shielded and not visible from the street. Service area light shields shall be painted to match the building to which they are attached.

- 7 Landscape lighting will be limited to down lighting, with the exception of highlighting the palm allies.
- 8 For signage illumination, refer to Section VI - Signage Guidelines.

### C Lighting and Fixtures

Standard Lighting and Fixtures that are to be used for The Cotton Center:

- 1 Boulevard Lighting  
Cotton Center Boulevard lighting is located in the right-of-way and shall conform to City of Phoenix standards.

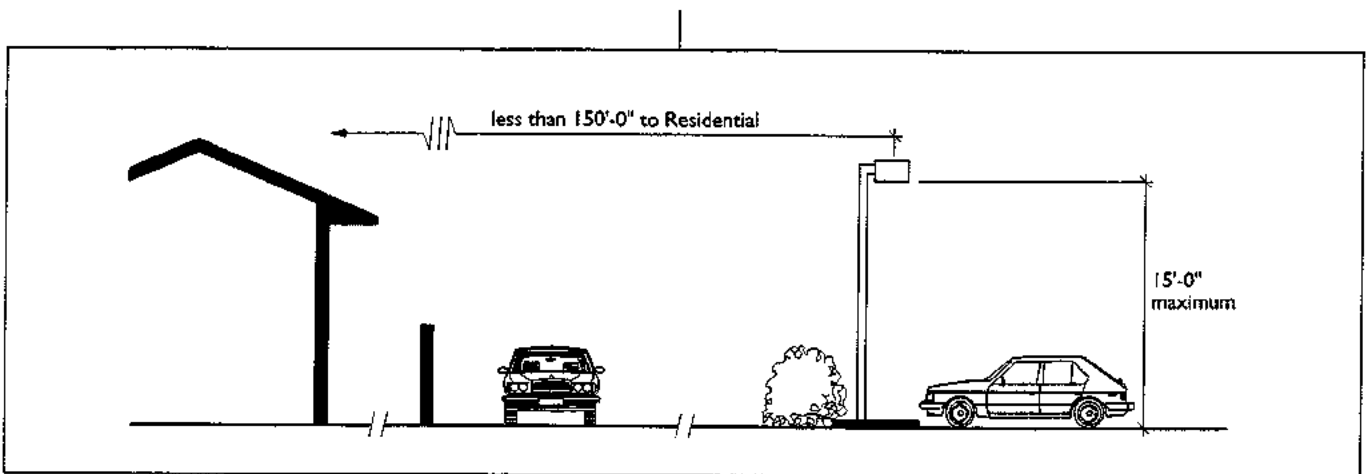


Fig. 7.3 Residential within 150 feet.

**2** Parking Lot, Driveway and Perimeter Lighting (use specified fixtures or acceptable equal)

- a 15'-0" height - Residential within 150' - Lithonia Lighting, Monarch Series, KSE1 100M, 100w metal halide.
- b 20'-0" height - Driveways and parking lots - Lithonia Lighting, Monarch Series, KSE2 400M, 400w metal halide.
- c Base poles - Lithonia Lighting, Monarch Series, Anchor base pole SSS, 6" square straight steel.
- d Color - Lighting fixtures, poles, and all accessories shall be painted with Lithonia Lighting Architectural Color DCRH (RAL 7044).
- e Pedestrian area walkway and accent lighting
- f Bollards - Lithonia Lighting, Monarch Series, KB R6, 6" round, 50/70w metal halide.
- g Recessed low mount site lighting - Lithonia Lighting, Monarch Series, KL 70M, 70w metal halide.
- h Color - Lithonia Architectural color DCRH (RAL 7044)

**3** Security Lighting

Shields shall be painted to match the surface to which they are attached. Security lighting fixtures are not to be substituted for parking lot or walkway lighting fixtures and are restricted to lighting only loading and storage locations, or other similar service areas.

**4** Parking Structure Lighting

- a Square ceiling mount garage cutoff lighting - Lithonia Lighting, Monarch Series, KPS 100M, 100w metal halide.
- b Parking structure lighting which occurs within 150' of a residential neighborhood must be shielded. Lighting shields shall be painted to match the parking garage.

## VIII CONSTRUCTION

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- A** These measures are to be followed to minimize soil erosion by water and wind.
- 1** Remove no more vegetation than necessary.
  - 2** Install temporary mulching or fire-resistant hydroseed in areas to be left bare for an extended time.
  - 3** Provide temporary ditches, dikes, distilling basins and/or vegetation to remove sediment from runoff water during development.
  - 4** Install permanent landscaping as soon as practical.
  - 5** The owner of individual parcels or buildings is responsible for identifying and protecting existing utilities during construction.
  - 6** Construction sites shall be maintained in a neat and orderly manner. All trash shall be kept in enclosed containers and removed frequently.
  - 7** Construction access shall be coordinated with and approved by the Approving Agent. Special care should be taken to protect existing pavements and landscaping from damage.
  - 8** Use screening and/or acceptable measures to control airborne dust during construction.

# EXHIBIT A APPROVED PLANT LIST

The majority of landscape plant materials selected were chosen for their suitability in meeting the following criteria:

- Low maintenance
- Disease and insect resistance
- Adaptability to arid environments
- Soil adaptability
- Fruitless
- Non-allergenic to employees
- Seasonal color/flowering characteristics
- Texture, size, growth rate

The following sections describe recommended plant materials for The Cotton Center.

## Trees

Botanical Name	Common Name
Acacia sp.	Acacia
Cercidium sp.	
Chamaerops humilis	Mediterranean Fan Palm
Chilopsis linearis	Desert Willow
Dahlbergia sissoo	Sissoo Tree
Eucalyptus microtheca	Flooded Boc
Eucalyptus spathulata	Narrow Leaf Gimlet
Geijera parviflora	Australian Willow
Gleditsia triacanthos "Inermis"	Honey Locust
Lysiloma sp.	Desert Fern
Olea sp. "Swan Hill"	Olive
Olneya tesota	Ironwood
Phoenix dactylifera	Date Palm
Pinus brutea	Afghan Pine/Eldarica Pine
Pinus halepensis	Aleppo Pine
Pistacia sp.	Pistachio
Pithecellobium sp.	Ebony
Prosopis thornless varieties	Mesquite
Quercus sp.	Oak
Sophora secundiflora	Texas Mountain Laurel
Ulmus parvifolia "semper-virens"	Evergreen Elm
Washingtonia sp.	Fan Palm

## Shrubs

Botanical Name	Common Name
Acacia sp.	Acacia/Wattle
Ambrosia deltoidea	Triangleleaf Bursage
Baccharis hybrid "centennial"	Centennial Desert Broom
Bougainvillea sp.	Bougainvillea
Boxus microphylla	Japanese Boxwood
Caesalpinia sp.	
Calliandra species	Fairy Duster
Cassia sp.	Cassia
Convolvulus cneorum	Bush Morning Glory
Cordia parvifolia	Little Leaf Cordia
Dalea sp.	Delea
Eencelia Farinosa	Brittlebush
Hyptis emoryi	Desert Lavender
Juniperus chinensis varieties	Juniper
Justicia spigera	Mexican Honeysuckle
Lantana sp.	Lantana
Leucophyllum sp.	Texas Ranger
Nerium oleander	Oleander "petites"
Plumbago scandens	Cape Plumbago
Ruellia californica	California Ruellia
Ruellia peninsularis	Desert Ruellia
Salvia sp. (shrub only)	Sage
Simmondsia chinensis	Joboba
Sophora secundiflora	Mescal Bean
Tecoma stans	Yellow Bells

## Ground Covers / Herbaceous Plants

Botanical Name	Common Name
Acacia redolens "desert carpet"	Desert Carpet Freeway Acacia
Asparagus densiflorus cv. sprengeri	Sprenger Asparagus Centennial Desert Broom
Baccharis hybrid "centennial"	
Carpobrotus edulis	Ice Plant
Centaurea cineraria	Dusty Miller
Convolvulus mauritanicus	Ground Morning Glory
Dalea sp.	Dalea
Gazania sp.	Ganzania
Lantana montevidensis	Trailing Lantana
Malephora lutea	Ice Plant
Myoporum parvifolium	Sandalwood
Oenothera berlandieri	Mexican Evening Primrose
Oenothera drummondii	Baja Primrose
Rosmarinus officinalis "prostratus"	Blue Sage
Salvia farinacea	Mealy Cup Sage
Santolina chamaecyparissus	Lavender Cotton
Santolina virens	Green Santolina
Sphaeralcea sp.	Globe-Mallow
Verbena sp.	Verbena

## Annuals / Perennials

Botanical Name	Common Name
<i>Baileya multiradiata</i>	Desert Marigolds
<i>Catharanthus roseus</i> cultivars	Madagascar Periwinkle
<i>Diates</i> sp.	Fortnight Lily
<i>Dimorphotheca</i> sp.	African Daisy
<i>Dyssodia pentachaeta</i>	Dyssodia
<i>Eschscholzia californica</i>	California Poppy
<i>Eschscholzia mexicana</i>	Mexican Gold Poppy
<i>Hemerocallis</i> hybrids	Day Lily
<i>Lobularia maritima</i>	Sweet Alyssum
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Pelargonium hortorum</i>	Geranium
<i>Penstemon</i> sp.	Marigold
<i>Tagetes</i> sp.	Ursinia
<i>Zinna</i> sp.	Zinna
<i>Zauschneria californica</i>	Hummingbird Flower

## Succulents

Botanical Name	Common Name
<i>Agave</i> sp.	Agave
<i>Aloe</i> sp.	Aloe
Cacti (all)	
<i>Dasyliirion</i> sp.	Desert Spoon
<i>Fouquieria</i> sp.	Ocotillo
<i>Hesperaloe</i> sp.	Red Yucca
<i>Nolina</i> sp.	Bear Grass
<i>Yucca</i> sp.	Yucca

## Grasses

Botanical Name	Common Name
<i>Aristida purpurea</i>	Red Three Awn
<i>Bromus rubens</i>	Red Brome
<i>Muhlenbergia</i> sp.	Muhley

## Vines

Botanical Name	Common Name
<i>Antigonon leptopus</i>	Queens Wreath
<i>Bougainvillea</i> sp.	Bougainvillea
<i>Campsis radicans</i>	Common Trumpet Creeper
<i>Clematis drummondii</i>	Virgin's Bower
<i>Hardenbergia comptoniana</i>	Wild Wisteria
<i>Macfadyena unguis - cati</i>	Cat Claw
<i>Mascagnia lilacaena</i>	Lilac Orchid Vine
<i>Mascagnia macroptera</i>	Yellow Orchid Vine
<i>Rosa banksiae</i>	Lady Banks Rose
<i>Prodranea ricasoliana</i>	Pink Trumpet Vine

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